



TOWN OF MORRISTOWN DEVELOPMENT REVIEW BOARD
WARNED PUBLIC HEARING
COMMUNITY MEETING ROOM OF THE OLD TEGU THEATER
43 Portland Street in Morrisville, VT 05661
6:00 PM Wednesday, July 8, 2026

[Join Zoom Meeting](#) or by phone join via conference call (audio only): 1 (646) 558-8656 | Meeting ID: [810 342 4528](#) | Passcode 05661

The meeting will be live streamed on the Town of Morrystown's website:
<https://www.morrystownvt.gov/community/page/meetings-agendas-minutes>

I. CALL MEETING TO ORDER

II. PROPOSED CHANGES TO THE AGENDA

III. APPROVE PRIOR MEETING MINUTES

1. Approve minutes from June 24th, 2026.

IV. PUBLIC COMMENTS

V. OLD BUSINESS

1. 2026-45 – Waiver request application submitted by Christopher Leblanc. The Applicant is seeking a waiver from the Morrystown Sidewalk Policy. The applicant received approval for a two-lot minor subdivision, permit number 2026-36, located at 140 Ward Pond Road. Condition 3 of 2026-36 notes that the applicant is required to construct a sidewalk as part of their subdivision approval unless the applicant receives a waiver from this requirement from the Development Review Board, as noted in Section 820.2(ae) of the Morrystown Zoning and Subdivision Bylaws. The project will be reviewed under the 2023 Morrystown Zoning and Subdivision Bylaws with emphasis on the following Sections: 612, 800, 820.2(ae), 835, and the Morrystown Sidewalk Policy.
2. 2026-46- Conditional Use application, submitted by Alex Goddard from the Town of Hyde Park, on behalf of North Country Animal League Inc. The Applicant is seeking to amend a previous Development Review Board approval of an animal shelter located at 16 Mountain View Road. The applicants wish to increase the number of dogs allowed on the property from 16 to 32. The Applicants are also proposing an expansion of 6-8 new kennel spaces. Expanding a legally non-conforming use requires conditional use review as noted in Section 435 of the Morrystown Zoning and Subdivision Bylaws. The project will be reviewed under the 2023 Morrystown Zoning and Subdivision Bylaws, with a specific focus on Sections 435, 500, and 630.
3. 2026-47- Major Subdivision review application, submitted by Mumley Engineering on behalf of Matt Hall. The Applicants are seeking major subdivision approval for a 5-lot major subdivision. The lots are as follows: Lot 16026-05-01, 1.84 acres, Lot 16026-09, 2.99 acres, Lot 16026-10, 2.11 acres, Lot 16026-11, 8.64 acres and Lot 16026-5, 27.09 acres. This project will be reviewed under the 2023 Zoning Bylaws with emphasis on the following Sections: 510, 750, 760, 770, and Article VIII.
4. 2026-48- Conditional Use application, submitted by N. A. Manosh Inc for a property located at 2237 Route 15 East. The Applicant is seeking to remove the existing crushing machinery and replace it with an asphalt plant. This project will be reviewed under the 2023 Zoning Bylaws with emphasis on the following Sections: Section 204.5a-b, 485, 500, 630, and 660.

VI. HEARING OF NEW APPEALS AND DEVELOPMENT APPLICATIONS

1. 2026-58- Site Plan Review application, submitted by Mumley Engineering on behalf of 5 Park Street LLC, to approve the site plan for a 14 unit multifamily housing building located at 5 Park Street. This project will be reviewed under the 2023 Morrystown Zoning and Subdivision bylaws and the proposed 2026 Morrystown

Zoning and Subdivision Bylaws. The following Sections of 2023 that are applicable to this application include but are not limited to the following: 204.5a-b, 206, 207, 450, 505, 500. The following Sections of 2026 that are applicable to this application include but are not limited to the following: 204.E-F, 206, 207, 450, 453, 500, 505, 510.

2. 2026 -59- Major Subdivision, and Conditional Use Review application submitted by Nick Manosh for a property located at 400 Ferland Pit Road. The Applicant is seeking Major Subdivision Review for a proposed 4 lot subdivision. The lots are as follows: Lot 1. 28.5 acres, Lot 2. 19.4 acres, Lot 3. 10.9 acres, Lot 4. 43.5 acres. The Applicant is also seeking conditional use approval for new gravel pits located on proposed Lots 1. & 2. The Applicant plans to phase the gravel pits in two phases. In addition, the Applicant is seeking to establish a water bottling plant on proposed Lot 3. This project will be reviewed under the 2023 Zoning Bylaws with emphasis on the following Sections: Section 204.5a-b, 485, Article V., 630, 660, 750, 760, 770, and Article VIII.

VII. ACTION ITEMS TO BE CONSIDERED

VIII. ADJOURN



**DEVELOPMENT REVIEW BOARD MEETING MINUTES
OF APRIL 22, 2026**

Members: Gary Nolan, Lenny Wing, Susanna Burnham, Paul Trudell, Mary Ann Wilson, Donald Blake, Jr.

Absent:

ADMINISTRATION and STAFF: Tyler Machia, Zoning and Planning Administrator

PARTICIPANTS/GUESTS: Dan McLaughlin, Ian Morris, Kent Herbert, Benjamin Adams, Susan Wickart, Steven Lawrence

CALL MEETING TO ORDER

Meeting called to order at 6:00PM

PROPOSED CHANGES TO THE AGENDA

APPROVE PRIOR MEETING MINUTES

1. Approve minutes from 3/25/26

Motion made by Donald Blake Jr. to approve the minutes of 3/25/26 with minor amendments.

Motion seconded by Marry Ann Willson. Motion carried (6/0).

PUBLIC COMMENTS

HEARING OF APPEALS AND DEVELOPMENT APPLICATIONS

ACTION ITEMS TO BE CONSIDERED

- #2026-19-Conditional Use application, submitted by 133 Gallery Lane LLC, to establish a new recreational facility use at 105 Gallery Lane. The plan calls for dividing an existing 11,963 building into a 7563 square foot recreational facility and a 4400 space that will house a use to be determined later. The project will be reviewed under the 2023 Morrystown Zoning and Subdivision bylaws, with a specific focus on Section 500 and Section 630.**

The Morrystown Development Review Board met to review a conditional use application from 133 Gallery Lane, LLC to convert an existing 11,963 square foot building into a 7,563 square foot recreational facility and a 4,400 square foot space for an undetermined use. The board discussed parking requirements, landscaping concerns, and the split zoning of the property between industrial and commercial districts. Jim Holly, general counsel for Sunrise Development, presented the application alongside Ben Adams. The board discussed the configuration of the two units and confirmed that the recreational facility would be primarily equipment-based, with no immediate plans for the second space. The meeting focused on parking requirements for a gym facility. It was noted that while the current application shows 27 parking spaces, the existing lot likely has more capacity, and the applicant could be required to return for a second review if additional parking is needed. The facility's expected maximum occupancy was discussed, with estimates around 32 people during peak hours from 5 AM to 9-10 PM, with adjusted hours during different seasons.

Motion made by Susanna Burnham to approve the project with the following conditions:

- 1. All parking places shall be clearly striped.**
- 2. Handicap spaces shall be clearly marked and delineated.**
- 3. The applicants will be required to obtain DRB approval for the remaining 4400 sqf space in the building.**

Motion seconded by Paul Trudell. Motion carried (6/0).

OTHER BUSINESS

- 1. Review applications for the open development review board seat with possible deliberative session to make recommendations to the Selectboard.**

The board then interviewed three candidates for the open DRB seat. The board will provide recommendations to the Select Board, who has the final authority to make appointments.

ADJOURN

Motion by Paul Trudell to adjourn into deliberative session. Motion seconded by Susanna Burnham. Motion Carried (6/0)

Meeting Adjourned At 7:03 PM

Submitted and filed 4/28/26

Tyler Machia, Zoning and Planning Administrator, Scribe

Please note all minutes are in Draft form and are subject to approval at the next Development Review Board meeting.

**DEVELOPMENT REVIEW BOARD MEETING MINUTES
OF JUNE 24, 2026**

Members: Gary Nolan, Susanna Burnham, Paul Trudell, Mary Ann Wilson

Absent: Donnie Blake, Jr., Susan Wickart, Lenny Wing

ADMINISTRATION & STAFF: Tyler Machia, Zoning and Planning Administrator
Staff member present to record the meeting

PARTICIPANTS/GUESTS: Eileen Elliot, Leah Hollenberger, Dexter Lefavour, Nick Manosh, Mike and Paula Noonan, Charles McArthur, Pauline McArthur, Jacques De Preez, Holden Thomas

CALL MEETING TO ORDER

Meeting called to order at 6:07 PM

PROPOSED CHANGES TO THE AGENDA

Chair Gary Nolan announced that due to the absence of Zoning Administrator Tyler Machia, who had a death in his family, the meeting would be abbreviated. The meeting would now approve all minutes of the last meeting, and move the evening's agenda of the hearing of appeals and development applications to a meeting scheduled for July 8, 2026.

APPROVE PRIOR MEETING MINUTES

1. Approve minutes from 4/22/26
Motion was made by Mary Ann Wilson to approve the minutes of 4/22/26.
Motion was seconded by Paul Trudell.
Motion carried (4/0).

ACTION ITEM TO BE CONSIDERED

1. Proposed Change to Agenda
Motion was made by Chair Gary Nolan to recess all hearings until July 8, 2026.
Motion was seconded by Mary Ann Wilson.
Motion carried (4/0).

ADJOURN

Motion made by Susanna Burnham to adjourn the meeting.
Motion seconded by Mary Ann Wilson
Motion carried (4/0).

Meeting adjourned 6:20 PM
Susanna Burnham, Scribe

The current lot contains one single-family home with access from Ward Pond Road. We are subdividing the property into two lots and constructing a new single-family home on the new lot, which will access Cottage Street.

The Zoning Administrator has informed us that because the property is located within the LDR1 zoning district and Sewer Service Area (SSA), the Morristown Sidewalk policy requires that this project include the construction of approximately 334 feet of sidewalk frontage along Cottage Street.

We respectfully disagree with that interpretation of the Sidewalk Policy.

Our understanding is that Section 3 of the policy establishes the development triggers requiring sidewalk construction, specifically:

- Commercial development
- Multifamily residential development
- Major subdivisions

This project does not constitute any of these triggers. It is a minor subdivision creating only one new parcel with a single family home.

Accordingly, we respectfully request that the sidewalk condition be removed from the permit.

If the DRB determines that the sidewalk requirement does apply to this project, then we respectfully request a waiver pursuant to §820.2(a)(d).

The frontage in question is entirely along an unimproved Class 3 dirt road with open roadside drainage ditches and no existing curb or stormwater infrastructure. Installation of a sidewalk would conflict with drainage, roadway grading, snow removal, and ongoing road maintenance operations, or require substantial grading, retaining structures, culverts, or bridging outside the ditch line.

Unlike paved roads with relatively fixed geometry, dirt roads are dynamic surfaces that regularly shift and are reshaped through seasonal grading and mud season conditions. Installing permanent sidewalk infrastructure adjacent to this type of roadway would create ongoing operational and maintenance conflicts. To our knowledge, there are no sidewalks along dirt roads anywhere in town.

Given the rural character of the road, the existing drainage configuration, and the topographic constraints present along the frontage, we believe enforcement of the sidewalk requirement is impractical because of the character and topography of the land and that granting the waiver would not adversely affect public health, safety, or welfare.

TOWN OF MORRISTOWN/VILLAGE OF MORRISVILLE
SUBDIVISION PERMIT APPLICATION

Tax Map Number: 23010-06 Permit Number: _____

XX

All questions **Must** be completed in full or application will be **Denied**. Please print or type information

Subdivision Name: Leblanc Subdivision

E-911 Property Address: 140 Ward Pond Road

Property Owner: Christopher & Melissa Leblanc

Mailing Address: 140 Ward Pond Road, Morrisville VT 05661

Applicant (if different than owner): Same

Mailing Address: _____

Telephone: Work: 802-735-5680 Home: _____ Email: chrisleblancvt@gmail.com

Engineer of Plan: Tyler Mumley, Mumley Engineering, Inc.

Mailing Address: PO Box 68, Morrisville VT 05661

Telephone: 802-851-8882 Email: tyler@mumleyinc.com Zoning District: LDR-1

Total Acreage: 3.61 Number of Lots: 2 Acreage per Lot: 2.05 1.35

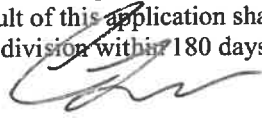
Road Frontage: 334.00" Length of Internal Road: N/A

Act 250 Applied For: Y N State Subdivision Applied For: Y N Easements/Rights-of-Way: Y N
Are They Shown on Plat: Y N PUD: Y N Number of Units: _____ Erosion Plan: Y N

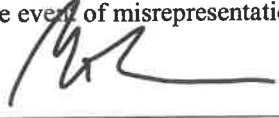
Description of Project: _____

2-lot subdivision of existing parcel 23010-06 into Proposed Lot 1 of ±2.05 acres and Proposed Lot 2 of ±1.35 acres.

The undersigned hereby requests a hearing for the proposed subdivision described above. Any permit issued as a result of this application shall be null and void in the event of misrepresentation or failure to file a survey plat of the subdivision within 180 days of approval.



Signature of Owner



Signature of Applicant

4/16/2026

Date Submitted



5/21/2026

Christopher & Melissa Leblanc
140 Ward Pond Road
Morrisville VT, 05661

Re: Zoning Permit for a Two Lot Minor Subdivision, Permit Number 2026-36

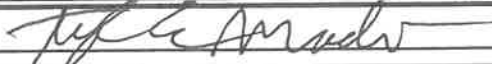
Greetings, your zoning permit application for a minor subdivision creating a 1.61 acre Lot 23-010-6-1 located at 140 Ward Pond Road has been approved. Enclosed please find your Permit Notice poster. This notice must be posted for a minimum of 15 days. This poster must be visible from the nearest public right of way, most adjacent to your property. To prove that the permit notice poster has been properly installed you must take a photo of it from the public right of way or notify the zoning and planning office that it has been installed, and the Zoning Administrator will perform a site visit to verify its location. Failure to do this could result in the invalidation of your permit or require an extension of the 15-day appeal period from the date the poster is confirmed to be installed. Your permit is subject to the following conditions:

1. The Project shall be built according to the plans submitted with this application.
2. The access to lot 23-010-6-1 shall be constructed per access permit 2025-024A.
 - a. Any conditions of approval with permit 2025-024A shall also be a condition of approval for this permit.
3. The Applicants are required to construct a sidewalk along the frontage of proposed lot 23-010-6-1 where it abuts Cottage Street, for its entire length, to the standards noted in the Morristown Sidewalk Policy.
 - a. The Applicants may apply for a waiver from this requirement as noted in Section 820.2ae by submitting a waiver request to the Development Review Board.
 - b. Failure to obtain such a waiver will require the applicant to construct a sidewalk as noted in 3.
 - c. Failure to obtain a waiver or construct the sidewalk would be considered a zoning violation and would be subject to enforcement action as noted in Section 622 of the Morristown Zoning and Subdivision Bylaws.
 - d. This condition shall also be a condition of approval of any subsequent zoning permit for lot 23-010-6-1 unless the applicants obtain a waiver from the Development Review Board for the sidewalk.
4. The Applicants have 180 days from the date of this approval to record a mylar with the town

43 Portland Street – PO Box 748 – Morrisville VT 05661

**Town of Morristown
PO Box 748
43 Portland St
Morrisville VT 05661**

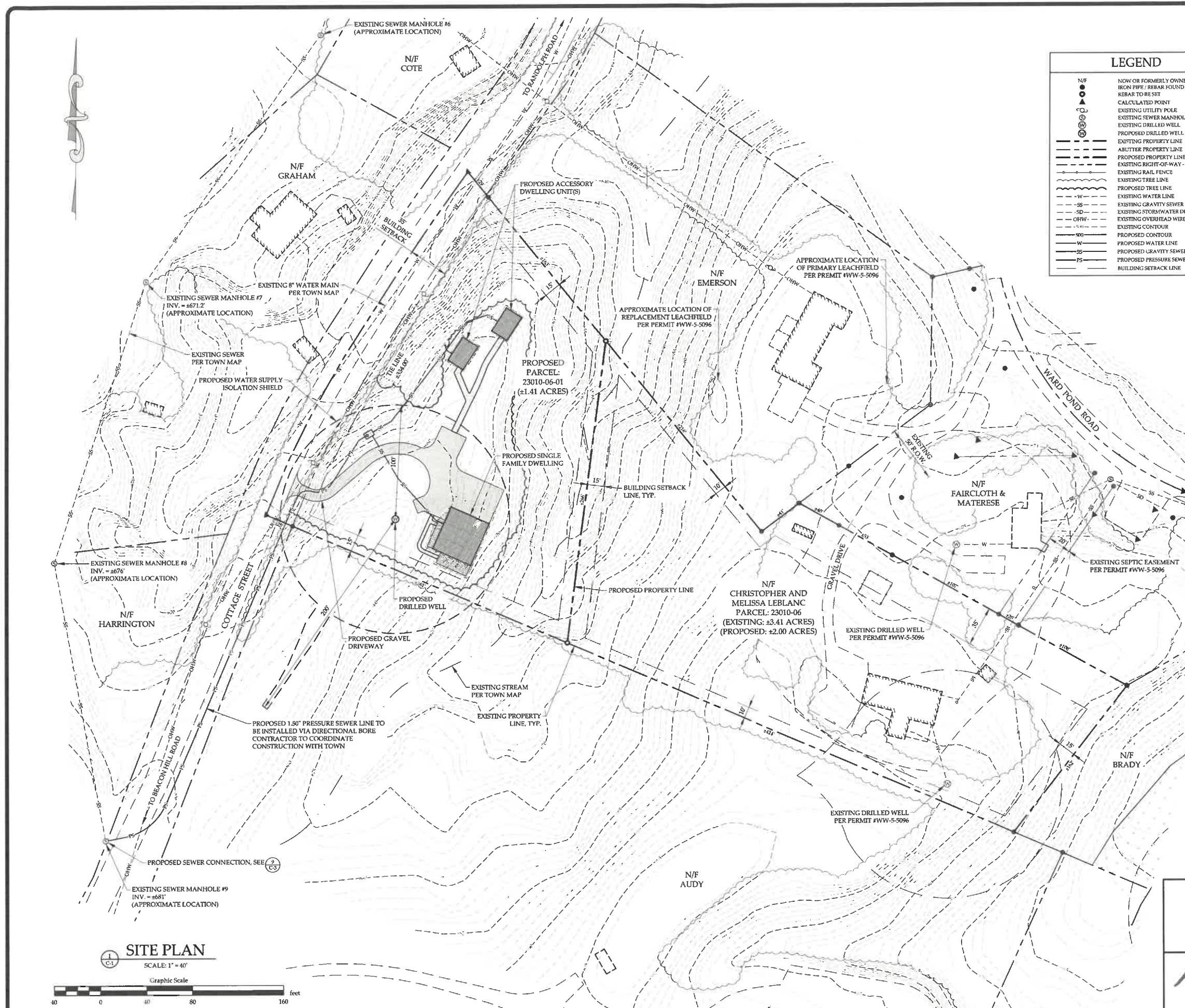
Subdivision permit

Parcel number	23-010-6	Permit number	2026-36	Hearing number	
Parcel location information					
Street number	140	Street/Road name	WARD POND RD	Apt number	
Other location information					
Permit applicant information					
Name	Christopher & Melissa Leblanc		Address 140 Ward Pond Road		
City	Morrisville	State	VT	Zip	05661 Telephone
Parcel owner information					
Name	Christopher & Melissa Leblanc		Address 140 Ward Pond Road		
City	Morrisville	State	VT	Zip	05661 Telephone
Application date	04/27/2026	Application fee		Land records: Book	Pages
Description of permit Minor Subdivision establishing 23-106-1 1.61 acres. See approval letter for conditions.					
PLAT exists for this permit?	NO	Acres in parcel		Zoning district	
Number of proposed lots		Minimum lot size (acres)		Minimum road frontage (ft)	
Name of subdivision					
Type of subdivision					
Was this parcel part of a subdivision in the last 10 years? NO					
Administrative Official				Date	5/21/26
Permit shall not take effect until _____, ** Or if a notice of appeal is filed with the Development Review Board by such date, it shall not take effect until the DRB issues its final decision. ** And the time for filing an appeal to the Environmental Court must have passed.					

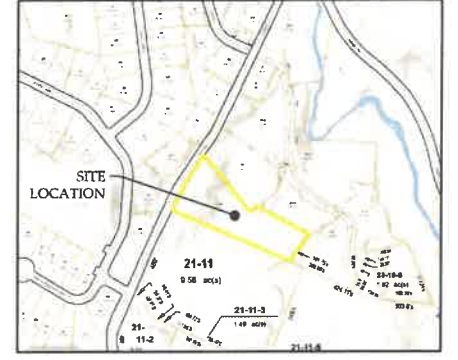
Town of Morristown
PO Box 748
43 Portland St
Morrisville VT 05661

Subdivision permit

Parcel number	23-010-6-1	Permit number	2026-36	Hearing number	
Parcel location information					
Street number	140	Street/Road name	WARD POND RD	Apt number	
Other location information					
Permit applicant information					
Name	Christopher & Melissa Leblanc		Address 140 Ward Pond Road		
City	Morrisville	State	VT	Zip	05661 Telephone
Parcel owner information					
Name	Christopher & Melissa Leblanc		Address 140 Ward Pond Road		
City	Morrisville	State	VT	Zip	05661 Telephone
Application date	04/27/2026	Application fee		Land records: Book	Pages
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Number of proposed lots		Minimum lot size (acres)		Minimum road frontage (ft)	
Name of subdivision					
Type of subdivision					
Was this parcel part of a subdivision in the last 10 years? NO					
Administrative Official <u><i>Jed Canadin</i></u>				Date <u>5/21/26</u>	
Permit shall not take effect until _____,*** Or if a notice of appeal is filed with the Development Review Board by such date, it shall not take effect until the DRB issues its final decision. ** And the time for filing an appeal to the Environmental Court must have passed.					



LEGEND	
N/F	NOW OR FORMERLY OWNED BY
●	IRON PIPE / REBAR FOUND
○	REBAR TO BE SET
○	CALCULATED POINT
○	EXISTING UTILITY POLE
○	EXISTING SEWER MANHOLE
○	EXISTING DRILLED WELL
○	PROPOSED DRILLED WELL
---	EXISTING PROPERTY LINE
---	ABUTTER PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	EXISTING RIGHT-OF-WAY - ACCESS
---	EXISTING RAIL FENCE
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	EXISTING WATER LINE
---	EXISTING GRAVITY SEWER LINE
---	EXISTING STORMWATER DRAIN
---	EXISTING OVERHEAD WIRES
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED WATER LINE
---	PROPOSED GRAVITY SEWER LINE
---	PROPOSED PRESSURE SEWER LINE
---	BUILDING SETBACK LINE



SITE LOCATION MAP
NOT TO SCALE

PURPOSE OF PLAN:
PROPOSED CONSTRUCTION OF A SINGLE FAMILY DWELLING AND TWO ACCESSORY DWELLING UNITS. ALL TO BE SERVED VIA ON-SITE WATER SUPPLY AND MUNICIPAL SEWER.

ZONING NOTES:
DISTRICT: LDR-1
MINIMUM LOT SIZE: 10,000 SF
MINIMUM LOT FRONTAGE: 50 FT
SETBACKS:
FRONT = 35 FT
REAR = 10 FT
SIDE = 15 FT
SHORELINE = 50 FT

OWNER OF RECORD:
CHRISTOPHER AND MELISSA LEBLANC

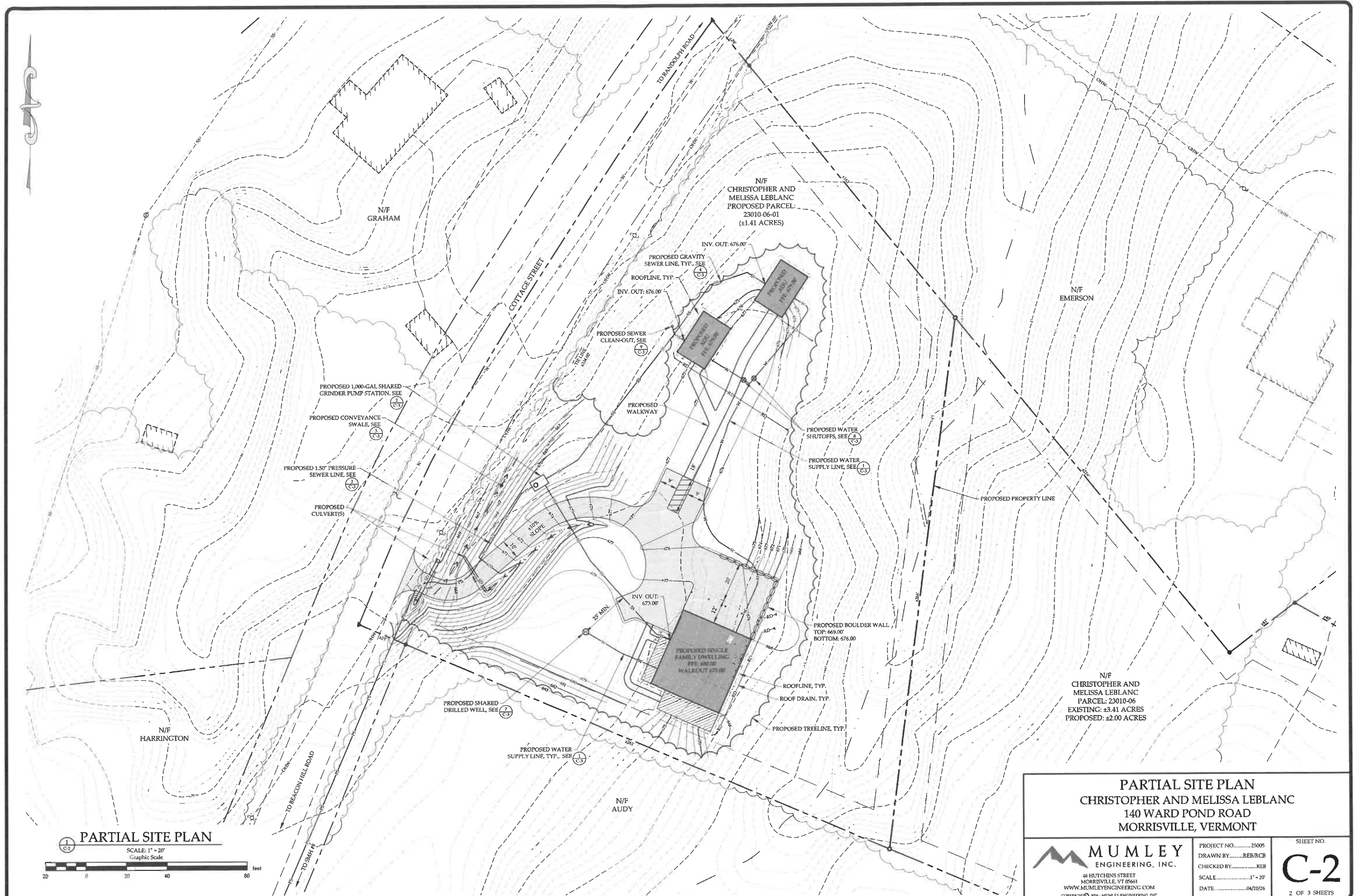
- PLAN REFERENCES:**
- TOPOGRAPHIC, PARCEL, EXISTING UTILITIES AND ORTHOGRAPHIC INFORMATION TAKEN ELECTRONICALLY FROM THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION ON 03-19-25.
 - PARCEL INFORMATION TAKEN FROM PLAN ENTITLED "SURVEY AND SUBDIVISION OF THE LANDS OF MARGARET P. REYNOLDS", DATED JUNE 19, 2009, STAMPED 6/26/09, PREPARED BY MCCAIN CONSULTING, INC.
 - EXISTING WATER & WASTEWATER INFORMATION TAKEN FROM PERMIT WW-5-5096, DATED 5-26-09, ON PLAN ENTITLED "OVERVIEW, MARGERET REYNOLDS, EIGHT LOT SUBDIVISION", DATED NOVEMBER 14, 2008, LAST REVISED 5/15/09, STAMPED 5/20/09, PREPARED BY MCCAIN CONSULTING, INC.
 - EXISTING SEWER INFORMATION PROVIDED BY MORRISVILLE WATER & LIGHT ON 03-28-25.
 - PARCEL INFORMATION TAKEN FROM PLAN ENTITLED "SURVEY AND SUBDIVISION OF THE LANDS OF CHRISTOPHER LEBLANC AND MELISSA LEBLANC (FKA BEERWORTH) COTTAGE STREET MORRISVILLE, VERMONT", DATED JANUARY 2026, PREPARED BY MCCAIN CONSULTING, INC.

- NOTES:**
- THIS DRAWING IS NOT A BOUNDARY SURVEY PLAT. BOUNDARY LINE INFORMATION SHOWN IS BASED ON PLAN REFERENCE #2 AND #5. THE PROPERTY LINES, EASEMENTS AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THIS DRAWING ARE FOR ILLUSTRATION PURPOSES ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN V.S.A. TITLE 27 SECTION 1403 AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION. APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - THIS TOPOGRAPHIC SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" BEFORE COMMENCING ANY WORK AND SHALL PRESERVE ALL EXISTING UTILITIES NOT SPECIFIED TO BE REMOVED OR ABANDONED AS PART OF THE PROJECT.

SITE PLAN
SCALE: 1" = 40'
Graphic Scale

SITE PLAN
CHRISTOPHER AND MELISSA LEBLANC
140 WARD POND ROAD
MORRISVILLE, VERMONT

 46 HUTCHINS STREET MORRISVILLE, VT 05661 WWW.MUMLEYENGINEERING.COM COPYRIGHT © 2019 - MUMLEY ENGINEERING, INC.	PROJECT NO. 25005	SHEET NO.
	DRAWN BY WEH/REB	C-1
	CHECKED BY REB	
	SCALE 1" = 40'	DATE 04/20/26



PARTIAL SITE PLAN

SCALE: 1" = 20'
Graphic Scale



**PARTIAL SITE PLAN
CHRISTOPHER AND MELISSA LEBLANC
140 WARD POND ROAD
MORRISVILLE, VERMONT**

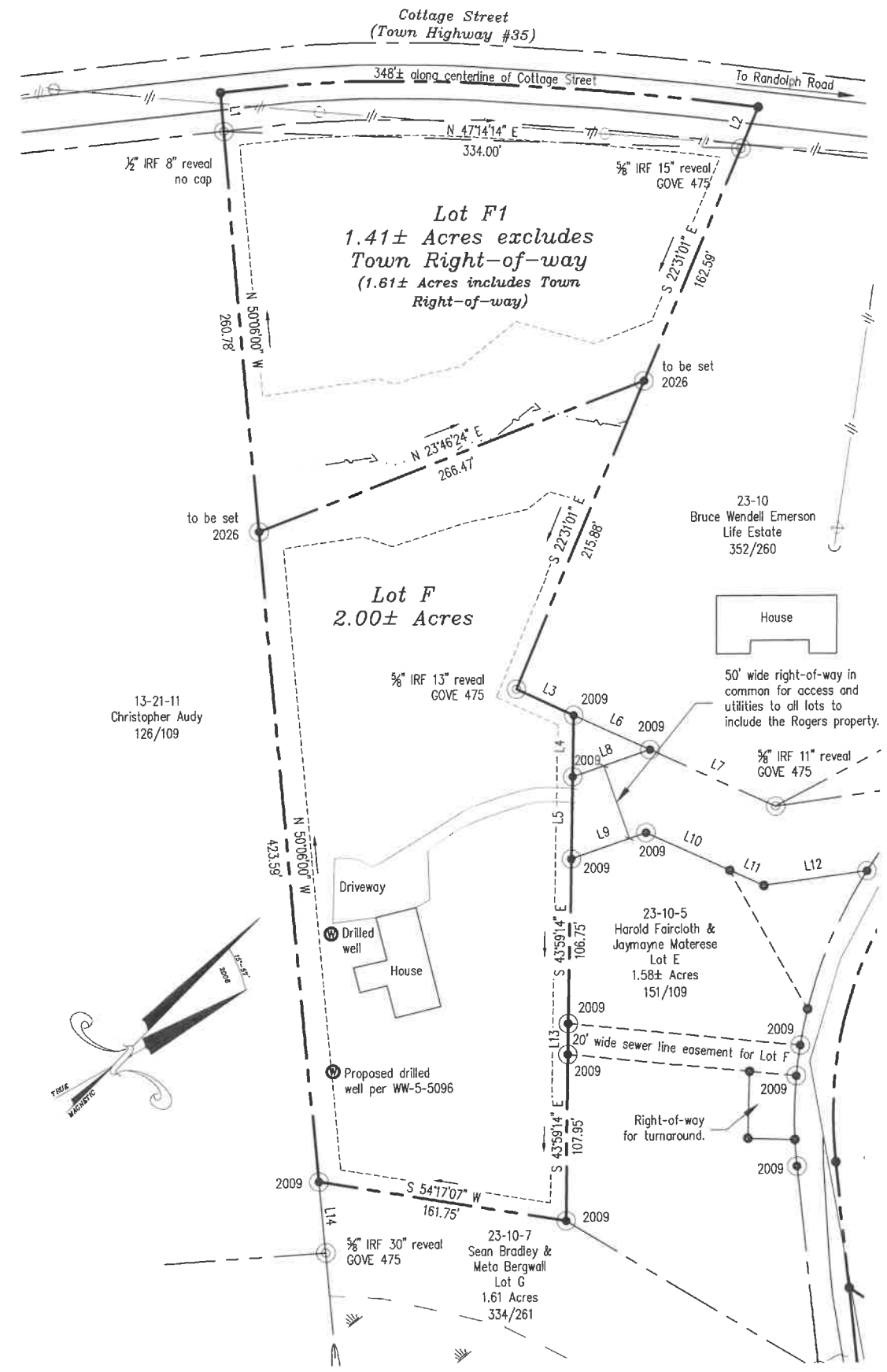
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ENGINEERING, INC.
46 HUTCHINS STREET
MORRISVILLE, VT 05661
WWW.MUMLEYENGINEERING.COM
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PROJECT NO. 25005
DRAWN BY: REB/RCB
CHECKED BY: REB
SCALE: 1" = 20'
DATE: 04/20/25

SHEET NO.

C-2

2 OF 3 SHEETS



LINE	BEARING	DISTANCE
L1	N 50°06'00\" W	25.24'
L2	S 22°31'01\" E	28.93'
L3	N 69°44'13\" E	41.01'
L4	S 43°59'14\" E	39.85'
L5	S 43°59'14\" E	53.28'
L6	N 69°44'13\" E	53.97'
L7	N 69°44'13\" E	88.87'
L8	N 25°51'06\" E	52.63'
L9	N 25°51'06\" E	50.84'
L10	N 69°44'13\" E	59.31'
L11	N 69°44'13\" E	23.98'
L12	N 37°15'33\" E	67.10'
L13	S 43°59'14\" E	20.07'
L14	N 50°06'00\" W	46.18'

LEGEND

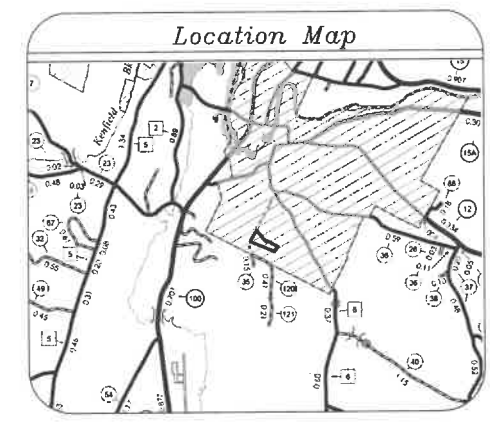
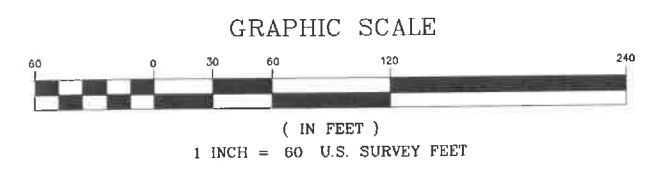
- ⊙ (Year set) 1/2" Iron rod set (4" - 14" reveal unless noted) with cap marked "VAN IDERSTINE 719"
- ⊙ Iron rod found
- Calculated point
- ⊗ Utility Pole
- ▭ Wetland
- Property line
- - - Adjoiner line
- - - Right-of-Way line
- - - Tie line
- - - Setback line
- - - Wetland boundary
- / - / - Overhead utility wires
- - - / - - Easement line
- Stream
- 126/109 Book 126 Page 109 of the Land Records

MORRISTOWN, VT TOWN CLERK'S OFFICE
 Received for record _____ A.D. 20____
 at _____ o'clock _____ minutes _____ m.
 and recorded in _____
 Attest: _____
 Town Clerk

Final Plan Approved by
 Morrystown Development Review Board

 Date

 Chair, DRB



TITLE SOURCE: Morrystown Land Records
 1. Margaret P. Reynolds by warranty deed to Christopher LeBlanc and Melissa Beerworth, dated July 15, 2010, recorded in Book 151, Page 357 of the Morrystown Land Records.

- REFERENCES:**
1. A plat entitled "Survey and Subdivision of the Lands of Margaret P. Reynolds, Morrystown, Vermont, scale 1" = 60," by McCain Consulting, Inc., dated June 19, 2009, recorded on Slide 316 of the Morrystown Land Records.
 2. A plat entitled "A Total Station Survey, "Rybak Lot" Subdivision, Morrystown, VT., scale 1" = 100," by Willard Gove, dated May 16, 2008, recorded on Slide 312 of the Morrystown Land Records.

- NOTES:**
1. This map is based on the research of the Morrystown Land Records, physical evidence found and a total station traverse with a minimum positional tolerance precision ratio that meets the standards for suburban surveys, set by the Vermont State Administrative Rules of the Board of Land Surveyors, effective January 7, 2013, performed by Evan Johnson and Keith R. Van Iderstine in January, 2026.
 2. Except where otherwise noted, no attempt was made to identify and/or locate any easements or rights-of-way that may exist, either recorded or unrecorded. The Cottage Street (Town Highway #35) right-of-way is 3 rods wide per Morrystown Meeting Book 2, Page 148 of the Morrystown Land Records.
 3. This subdivision is subject to the provisions of the following permits:
 Wastewater System and Potable Water Supply Permit WW-5-5096 and pending.
 Town Subdivision Permit #2009-005 and pending.
 4. Bearings are based on the N 50°06'00" W 730.54' line as depicted in Reference 2. Said line coincides with the N 50°06'00" W 480.45' line depicted on this plat. The basis of bearings of said plat in Reference 2 is stated to be Magnetic North.
 5. Research by Keith R. Van Iderstine. Map by Scott J. Herring.

SURVEY AND SUBDIVISION OF THE LANDS OF
**Christopher LeBlanc and
 Melissa LeBlanc (fka Beerworth)**
 Cottage Street Morrystown, Vermont

McCAIN CONSULTING, INC.
 93 SOUTH MAIN STREET
 WATERBURY, VERMONT 05676

SCALE : 1" = 60'
 PROJECT : Mc28002H
 DRAWING : 28002H.dwg

DATE: 2026 SHEET 1 OF 1

PRELIMINARY

Keith R. Van Iderstine, L.S. 719
 This map complies with
 27 VSA 1403 and 26 VSA 2596



July 8th, 2026, DRB Meeting Staff Notes

APPLICATION: 2026-45

APPLICANT: Chris & Melissa LeBlanc

REQUESTED ACTION: Conditional Use Review

LOCATION: 140 Ward Pond Road

EXISTING ZONING: LDR

PROJECT DESCRIPTION: 2026-45– Waiver request application submitted by Christopher LeBlanc. The Applicant is seeking a waiver from the Morristown Sidewalk Policy. The applicant received approval for a two-lot minor subdivision, permit number 2026-36, located at 140 Ward Pond Road. Condition 3 of 2026-36 notes that the applicant is required to construct a sidewalk as part of their subdivision approval unless the applicant receives a waiver from this requirement from the Development Review Board, as noted in Section 820.2a(d)-(e) of the Morristown Zoning and Subdivision Bylaws. The project will be reviewed under the 2023 Morristown Zoning and Subdivision Bylaws with emphasis on the following Sections: 612, 800, Section 820.2a(d)-(e) 835, and the Morristown Sidewalk Policy.

PARCEL HISTORY:

1. Zoning Permit, Minor Subdivision, 2026-36 Approved 05/20/26
2. Zoning Permit, Single Family Home, 2022-082, Approved 07/07/22
3. Zoning Permit, New ADU, 2015-003, Approved 02/25/15

LIST OF APPLICANT SUBMISSIONS:

- A. Application and Narrative 5-26-26
- B. Subdivision Approval 5-21-26
- C. Site Plan and Plat 5-21-26

PROCEDURAL INFORMATION:

1. Agenda placed in News and Citizen 6/1/2026
2. Notice placed on the town website and at three locations in town on 6/8/2026
3. Abutters notified on 6/8/2026
4. Notice sent to Applicant 6/8/2026
5. Application continued to 7/8/26 on 6/24/26

STAFF COMMENTS (Comments In Bold):



1. 2026-45– Waiver request application submitted by Christopher LeBlanc. The Applicant is seeking a waiver from the Morristown Sidewalk Policy. The applicant received approval for a two-lot minor subdivision, permit number 2026-36, located at 140 Ward Pond Road. Condition 3 of 2026-36 notes that the applicant is required to construct a sidewalk as part of their subdivision approval unless the applicant receives a waiver from this requirement from the Development Review Board, as noted in Section 820.2(ae) of the Morristown Zoning and Subdivision Bylaws. The project will be reviewed under the 2023 Morristown Zoning and Subdivision Bylaws with emphasis on the following Sections: 612, 800, 820.2(ae), 835, and the Morristown Sidewalk Policy.
2. The lot is located in the Low Density Residential Zoning District
3. Condition 3 of subdivision approval 2026-36 notes that the applicants are required to construct a sidewalk per the Morristown Sidewalk Policy as noted in Sections 800, 820.2a(d), and 835.
4. Section 820.2a(e) notes that the Development Review Board may waive the sidewalk requirement under the following circumstances:
 - a. If it finds that enforcement would be impractical because of the character or topography of the land.
 - b. The health, safety and welfare of the public is not adversely affected.
5. The Applicants' narrative also makes the following argument as to why the waiver should be granted.
 - a. The frontage of the proposed lot that will be accessed off of Cottage Street is a class 3 dirt road.
 - i. There is no existing curbing on this road and it has drainage ditches on both sides of the road.
 - ii. Installing a sidewalk would adversely impact the drainage of this road.
 - iii. Given seasonal fluctuations in the road due to weather conditions, installing a sidewalk is impractical to do and it would be difficult to maintain.
6. The Applicants' narrative argues that the sidewalk policy should not apply to this project. Based on the following:
 - a. Section 3 of the Morristown sidewalk policy notes the following:
 - i. Other than in the exempted zones as provided for in #2, sidewalks shall be provided as part of any commercial (re)development, any multi-family residential development, and within all major subdivisions, and located within the right-of-way of Town and private roads.
 - ii. The Applicants note in their narrative that their project is a minor subdivision which will host a single family home.
 1. Neither of these types of development are listed in Section 3, therefore the sidewalk policy does not apply to their project.



7. **Staff disagrees with the Applicants' argument that the sidewalk policy does not apply to this project for the following reasons:**
- a. **Section 2 of the Morrilltown sidewalk policy clearly states that the intent of the policy is to promote walkability for residents. It notes the following:**
 - i. *"It is expected that the residents of Morrisville shall be able to walk on a sidewalk to the shops and businesses where products are sold or services are offered to the general public. The Rural Residential Agricultural Zone, Industrial Zone, and Low Density Residential Zones (outside the Sewer Service Management Area only) are the only areas where sidewalks are not required. Sidewalks are required in all other zones on at least one side of the street."*
 - b. **This section clearly states that sidewalks shall be provided on at least one side of the street in the Low Density Residential Zones outside the Sewer Service Management Area. The Applicants' property is located in the Low Density Residential Zone but falls inside the Sewer Service Management Area, and is therefore subject to the sidewalk policy. It is also important to note that this section makes no exception based on project type.**
 - c. **Section 3 introduces some ambiguity by identifying specific project types that trigger the sidewalk requirement. It states:**
 - i. *"Other than in the exempted zones as provided for in #2, sidewalks shall be provided as part of any commercial (re)development, any multi-family residential development, and within all major subdivisions, and located within the right-of-way of Town and private roads."*
 - d. **One could read this as limiting the requirement to only the project types listed; however, Section 3 does not explicitly exempt minor subdivisions or single-family homes. Rather, this section is clarifying that these specific project types must construct sidewalks that connect to town and private road rights-of-way. For example, if a developer builds multiple multi-family buildings on a single lot accessed by a shared road, they would be required to construct a sidewalk connecting those buildings via the right-of-way. Exempting single-family homes and minor subdivisions entirely would create significant gaps in the town's sidewalk network. When read together, Sections 2 and 3 make clear that sidewalks are required in all areas not explicitly exempted in Section 2.**
 - e. **The Morrilltown Zoning and Subdivision Bylaws make clear that sidewalks are required for all subdivisions unless the DRB grants a waiver. Section 800 states that the regulations in that section apply to all subdivisions. Section 820.2a(d) states that:**
 - i. *"Sidewalks shall be provided per the Morrilltown Sidewalk Policy. Sidewalks shall be provided so new developments connect to existing sidewalks."*
 - f. **Section 900 of the bylaws defines development as:**
 - i. *"The division of a parcel into two or more parcels or any human-made changes to improved or unimproved real estate, including buildings or other*



structures, mining, dredging, filling, grading, paving, excavation or drilling operations, or storage of equipment and materials."

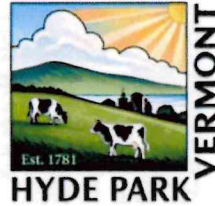
- g. **The Applicants' minor subdivision meets this definition of development, and is therefore subject to the sidewalk requirement outlined in Section 820.2a(d). While they may request a waiver under Section 820.2ae, the requirement still applies unless and until that waiver is granted. In addition, Section 835 also clearly states that sidewalks shall be provided by the subdivider.**
8. **In conclusion, the Morristown sidewalk policy requires sidewalks in all districts not explicitly exempted. It does not exempt minor subdivisions or single-family homes. Section 820.2a(d) further confirms that all new development must construct sidewalks, and this project meets the definition of development under Section 900 of the bylaws. Therefore, sidewalks are required as part of this minor subdivision.**
9. **While staff believes that this project is subject to the Morristown Sidewalk Policy, the applicants are allowed to request a waiver from the sidewalk requirement per the standards noted in Section 820.2a(e).**

ITEMS FOR DRB CONSIDERATION:

1. Does the Morristown Sidewalk Policy apply to minor subdivisions?
2. Has the Applicant demonstrated that they meet the requirements for a waiver noted in Section 820.2a(e) of the Bylaws?

RECOMMENDATIONS TO THE DRB

1. Grant the Applicants' waiver request based on the physical characteristics of the site noted by the applicant.



RE: Addendum to Zoning Application
North Country Animal League (NCAL)
May 29th, 2026

Dear Mr. Machia,

North Country Animal League (hereinafter “NCAL”) is an existing, approved community facility that provides animal sheltering, adoption, and temporary animal care services. The facility currently houses and manages canines, including impounded rescue canines for rehoming and adoption. NCAL additionally provides temporary pet housing services for individuals experiencing mental health or personal hardship situations that temporarily prevent them from caring for their pets.

The original Development Review Board approval from 1999 authorized the facility to house up to sixteen (16) canines. Due to increased operational demand and the growing regional need for municipal impound services, NCAL proposes to expand the canine capacity of the facility from sixteen (16) canines to a maximum of thirty-two (32) canines total.

As part of this expansion, approximately six (6) to eight (8) kennel spaces would be designated specifically for municipal impound animals serving Lamoille County communities. The proposed use does not constitute a substantive change in the overall character or nature of the approved use. NCAL already operates as an impound and holding facility for out-of-state canines. The proposed amendment simply expands the origin of impounded animals to include local municipal impounds while maintaining the same overall operational characteristics of an animal shelter and temporary holding facility.

While the original DRB Findings of Fact included language stating that “the facility shall not be a pound; that will remain with Lamoille Kennels,” We respectfully note that this language appears within the Findings of Fact section and was not incorporated as a specific condition of approval or operational restriction within the final permit decision. From our perspective, this simply established the current, know conditions 27 years ago, and does not bar the facility from establishing, or maintaining a municipal pound under 20 V.S.A. § 3381.

NCAL further proposes construction of an approximately 24-foot by 24-foot addition to the existing structure to accommodate the additional kennel capacity. The addition will be specifically designed to allow for segregation of municipal impound animals from the general shelter population. The design will allow Animal Control Officers full and independent access to the municipal impound area at all

Office of the Town Administrator
344 VT 15 West, PO Box 98, Hyde Park, VT 05655
Office (802)888-2300 · Fax (802)888-6878
www.hydeparkvt.com



times while maintaining separation from the primary shelter operations.

Operations and Facility Management

The proposed expansion has been specifically designed to address concerns commonly associated with overnight animal boarding, including staffing, noise, and compatibility with the surrounding area.

At no time shall the facility exceed a maximum of thirty-two (32) canines total on-site, inclusive of both shelter animals and municipal impounds. Of those total kennels, approximately six (6) to eight (8) would be designated for municipal impound purposes.

All impounded animals housed overnight will remain indoors within enclosed kennel areas. No outdoor overnight kenneling is proposed. Outdoor exercise activities for impounded animals will occur only between the hours of 8:00 a.m. and 5:00 p.m., consistent with the operational limitations established under the current permit conditions. Animal Control Officers will not exercise dogs before 8:00 a.m. or after 5:00 p.m.

Municipal impound intake activities would generally occur during standard operating hours whenever possible. However, Animal Control Officers may require access outside normal business hours to comply with statutory animal control obligations and emergency public safety situations. Such after-hours access would be limited to intake, retrieval, or emergency care activities and would not involve general public operations or routine outdoor activities.

NCAL staff are present during normal business operations and are responsible for the daily care, feeding, cleaning, and monitoring of all animals housed at the facility. Animals housed overnight are maintained indoors in secured kennel areas specifically designed for safe temporary boarding and animal management.

Noise Mitigation and Compatibility with the Area

The proposed expansion will not substantially alter the existing character of the property or surrounding area. The facility has historically operated as an approved animal shelter and canine housing facility, and the proposed use remains substantially similar in nature and intensity to the existing approved operations.

The proposed addition and municipal impound component are designed to minimize impacts to neighboring properties. The nearest residential structure is located approximately 415 feet from the proposed kennel addition area. In addition, all overnight animal housing will occur within enclosed insulated structures, substantially reducing the transmission of sound from the interior of the building.

The loudest canine bark is generally estimated between approximately 90 and 110 decibels at the

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source. Sound attenuation over distance substantially reduces audible noise impacts. Applying standard sound dissipation principles, a 90 dB bark at approximately 200 feet diminishes to roughly 50 dB, and at approximately 350 feet becomes substantially reduced and generally comparable to ambient environmental noise levels. These estimates assume the animal is located outdoors. Barking originating from within the enclosed structure would be further attenuated by the building walls and insulation, significantly reducing exterior audible impacts.

Additionally, NCAL is willing to incorporate supplemental landscaping or vegetative screening measures if deemed appropriate by the Development Review Board to further mitigate potential noise impacts to neighboring properties.

Consistency with Zoning Standards

The proposed expansion does not involve the expansion of the lot itself and will continue to comply with applicable dimensional requirements for the district. The project represents an expansion of an existing legally established community facility and animal shelter use.

The proposal is not anticipated to adversely impact community facilities, traffic, drainage, stormwater management, or the area's ability to hold water. The project does not involve significant site disturbance beyond the proposed building addition and associated utility connections.

The proposed use additionally serves an important public and community function by providing municipalities with access to compliant regional animal impound services necessary to satisfy statutory obligations under Vermont law. The expansion will increase local animal sheltering capacity, improve regional municipal animal control resources, and provide humane temporary housing for impounded animals within a professionally managed facility.

For the foregoing reasons, NCAL respectfully requests approval of the proposed expansion and associated facility improvements.

Sincerely,

Alex Goddard

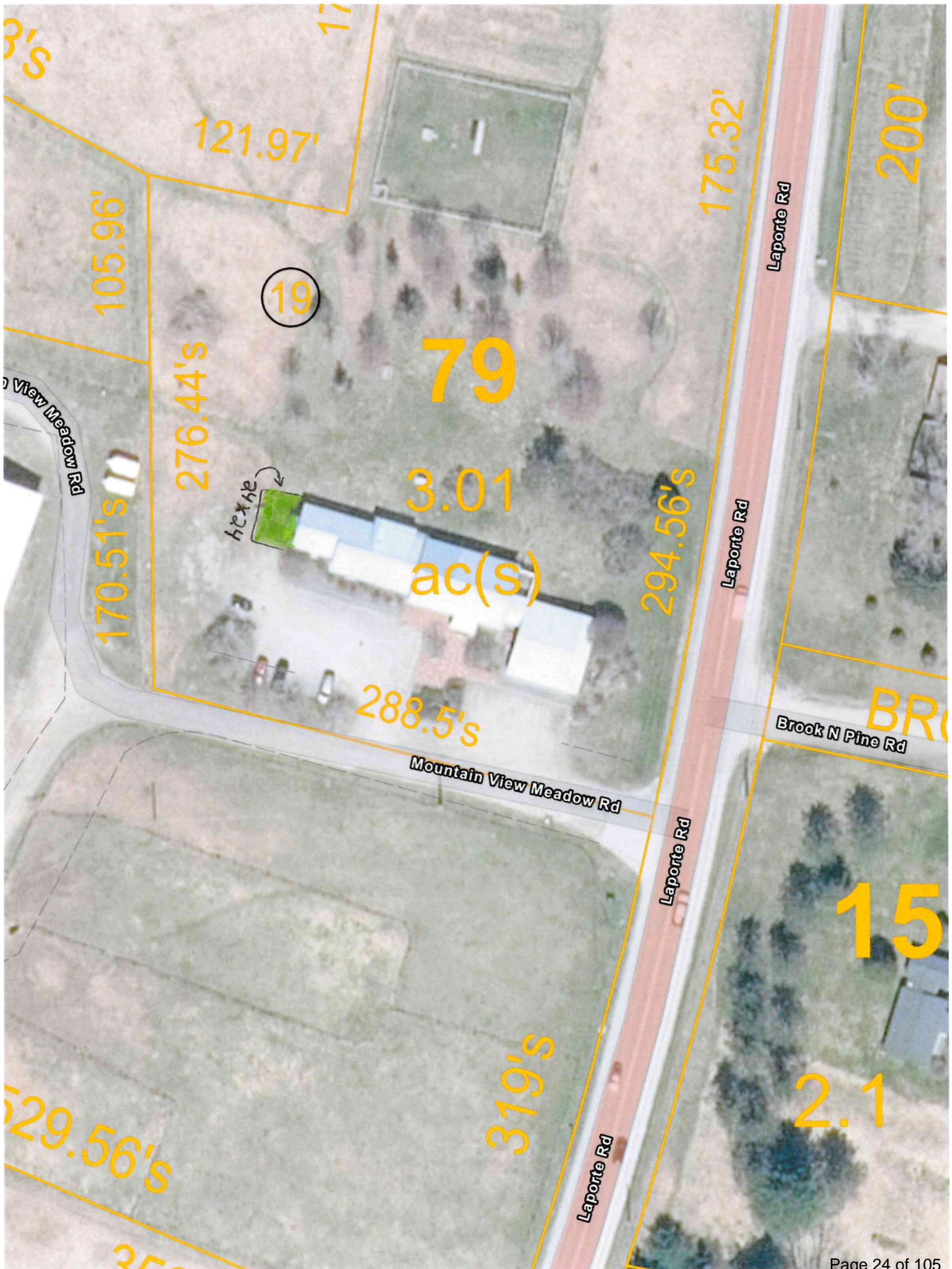
Town Administrator

Town of Hyde Park, Vermont

alex@hyeparkvt.com

802-888-2300

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344 VT 15 West, PO Box 98, Hyde Park, VT 05655
Office (802)888-2300 · Fax (802)888-6878
www.hydeparkvt.com





July 8th, 2026, DRB Meeting Staff Notes

APPLICATION: 2026-46

APPLICANT: Alex Goddard, Town of Hyde Park

REQUESTED ACTION: Conditional Use Review

LOCATION: 147 Stancliff RD

EXISTING ZONING: Rural Residential Agriculture

PROJECT DESCRIPTION: 2026-46- Conditional Use application, submitted by Alex Goddard from the Town of Hyde Park, on behalf of North Country Animal League Inc. The Applicant is seeking to amend a previous Development Review Board approval of an animal shelter located at 16 Mountain View Road. The applicants wish to increase the number of dogs allowed on the property from 16 to 32. The Applicants are also proposing an expansion of 6-8 new kennel spaces. Expanding a legally non-conforming use requires conditional use review as noted in Section 435 of the Morristown Zoning and Subdivision Bylaws. The project will be reviewed under the 2023 Morristown Zoning and Subdivision Bylaws, with a specific focus on Sections 435, 500, and 630.

PARCEL HISTORY:

1. Conditional Use Application, modify conditions of approval, 2010-014. Approved 4-20-26
2. Zoning Permit, New Sign, 2026-101, Approved 8-31-06
3. Conditional Use Review, 2005-036, Approved 4/25/05
4. Conditional Use Application, modify conditions of approval, 2004-038. Approved 5-28-04

LIST OF APPLICANT SUBMISSIONS:

- A. Application 5/29/26
- B. Application Narrative and Plan 5/29/29

PROCEDURAL INFORMATION:

1. Agenda placed in News and Citizen 6/1/2026
2. Notice placed on the town website and at three locations in town on 6/8/2026
3. Abutters notified on 6/8/2026
4. Notice sent to Applicant 6/8/2026



5. Application continued to 7/8/26 on 6/24/26

STAFF COMMENTS (Comments In Bold):

1. 2026-46- Conditional Use application, submitted by Alex Goddard from the Town of Hyde Park, on behalf of North Country Animal League Inc. The Applicant is seeking to amend a previous Development Review Board approval of an animal shelter located at 16 Mountain View Road. The applicants wish to increase the number of dogs allowed on the property from 16 to 32. The Applicants are also proposing an expansion of 6-8 new kennel spaces. Expanding a legally non-conforming use requires conditional use review as noted in Section 435 of the Morrilltown Zoning and Subdivision Bylaws. The project will be reviewed under the 2023 Morrilltown Zoning and Subdivision Bylaws, with a specific focus on Sections 435, 500, and 630.
2. The lot is located in the Rural Residential Agriculture district at 16 Mountain View Meadows.
3. Zoning Permit 1999-116 notes that the lot is approved for an animal shelter use and is not permitted to be a municipal pound as noted in condition 35 of the findings of fact of the application.
4. Conditional Use application 2011-040 made several changes to the original approval but did not establish this facility as a municipal dog pound.
5. The Applicants are looking to amend these previous approvals to allow the facility to serve as a municipal dog pound, thus establishing a community facility as required by 20 VSA 3381.
6. Section 900 of the bylaws notes that a Community Facility includes government facilities such as the required municipal dog pound.
7. Section 204.a of the 2023 bylaws notes that neither the animal shelter nor community facility use is an allowed use in the Rural Residential Agriculture (RRA) zoning district.
8. Section 435 notes that expanding a non-conforming use requires site plan and conditional use review as noted in Section 500 and 630 of The Bylaws.
9. Section 435 further notes that the proposed expansion cannot involve the expansion of the lot and all structures need to meet the dimensional standards for the district noted in Section 204.5b of The Bylaws.
10. The applicant's narrative notes that the project will involve a 24 x 24 expansion of the building to allow for holding up to 32 canines in total. The narrative notes that 6-8 spaces would be designated for municipal use. **(The Applicants' narrative and site plan show the location of the proposed addition. The location appears to be outside of the setbacks noted in Section 204.5b of the bylaws).**
11. The project shall be subject to the site plan regulations noted in Section 500 of The Bylaws.



12. The project's site plan is required to provide the information noted in Section 502.a-e. Section 502.f-i does not apply as this is not a new commercial development.
13. The Applicants have supplied the information noted in Section 502.a, b, & e.
14. The Applicants' site plan does not have the preparation date or true north arrow as noted in Section 502.c & d. **(The board should consider whether the applicants should be required to file a site plan with the outstanding information noted in Section 502.c & d.)**
15. Section 505 notes that landscaping shall be required for any non-residential use.
16. The Applicants' narrative notes that they are proposing minor changes to the building's exterior. While the applicants are not proposing additional landscaping, though they are open to this if the board requires it for screening or noise mitigation. **(The Board will need to consider whether the existing landscaping and noise control measures are sufficient for the expansion of this use to comply with Sections 435 and 636 of The Bylaws.)**
17. The Applicants are not proposing changes to the existing landscaping. **(The Board may want to consider additional planting to help mitigate noise if the board deems it necessary).**
18. The project is subject to parking requirements noted in Section 450 of The Bylaws.
19. The Applicants are not proposing a change in use that would require the amount of required parking spaces to change.
20. The Project will be subject to any of the requirements noted in Section 630 of The Bylaws.
21. Section 632 notes that the proposed project cannot have an adverse impact on any of the following:
 - a. 632.1 Community Facilities
 - b. 632.2 The character of the affected area
 - c. 632.3 Reduction in the ability of an area to hold water
 - d. 632.4 Will not result in undue water, noise, or air pollution.
22. The Applicants' narrative notes that this use will not have a negative impact on the surrounding area as the nearest home is 415 feet away and the decibel level of outside dog barks drops significantly at 350 feet to just 50 decibels. The narrative notes that all impounded animals will be housed inside. Outdoor exercise of these animals will only occur between 8:00 AM and 5:00 PM. The Applicant's narrative also explains how the facility will be operated including the drop off of animals caught outside of normal business hours.

OUTSTANDING INFORMATION:

1. Site plan with missing information noted in Section 502.c & d.



ITEMS FOR DRB CONSIDERATION:

1. Is the project's location from abutting dwellings sufficient protection from noise for abutters?

RECOMMENDATIONS TO THE DRB

1. Approve the application as presented.

TOWN OF MORRISTOWN/VILLAGE OF MORRISVILLE
SUBDIVISION PERMIT APPLICATION

Tax Map Number: _____ Permit Number: _____
XX

All questions **Must** be completed in full or application will be **Denied**, Please print or type information

Subdivision Name: 5184 Laporte Road Subdivision Phase II

E-911 Property Address: 5184 Laporte Road, Morristown VT 05661

Property Owner: Matt Hall

Mailing Address: 5184 Laporte Road, Morristown VT 05661

Applicant (if different than owner): Same

Mailing Address: _____

Telephone: Work: (720) 210-4061 Home: _____ Email: mkhall@me.com

Engineer of Plan: Mumley Engineering, Inc.

Mailing Address: P.O. Box 68, Morrisville VT 05661

Telephone: 802-851-8882 Email: tyler@mumleyinc.com Zoning District: RRA

Total Acreage: +/-42.67 Number of Lots: 5 Acreage per Lot: +/-1.84 +/-2.99
+/-2.11 +/-8.64 +/-27.09

Road Frontage: See plan Length of Internal Road: +/-750 LF

Act 250 Applied For: Y N
Are They Shown on Plat: Y N
State Subdivision Applied For: Y N
PUD: Y N Number of Units: _____
Easements/Rights-of-Way: Y N
Erosion Plan: Y N

Description of Project:

Proposed residential subdivision. See included narrative for more information.

The undersigned hereby requests a hearing for the proposed subdivision described above. Any permit issued as a result of this application shall be null and void in the event of misrepresentation or failure to file a survey plat of the subdivision within 180 days of approval.

[Signature]
Signature of Owner

[Signature]
Signature of Applicant

5/25/26
Date Submitted



May 26th, 2026

Tyler Machia, Zoning Administrator
Town of Morristown
43 Portland Street, Morrisville, VT 05661

Subject: Hall Property, Laporte Road/Route 100
Proposed 5-Lot Conservation Subdivision

Project #20078.5

Dear Tyler,

Please find attached an application and associated site plan and details for Final Plat/Plan review by the Development Review Board (DRB). This application is focused on a proposed 5-Lot Conservation Subdivision, of the existing lands located at 5184 Laporte Road Morristown.

The project includes a total of ± 42.67 acres. As a proposed Conservation Subdivision, there will be a dedicated parcel for Open Space. The remaining land will be subdivided among four (4) new lots. Proposed lots are outlined below:

- Proposed 16026-05-01 = ± 1.84 acres
- Proposed 16026-09 = ± 2.99 acres
- Proposed 16026-10 = ± 2.11 acres
- Proposed 16026-11 (Open Space) = ± 8.64 acres (>50% of project area)
- Parcel 16026-5 = ± 27.09 acres (Remaining Lands – No proposed development)

The below information provides an explanation on all applicable requirements for this subdivision:

Section 510: PUD/Conservation Subdivision

- o Per subsection 5, the Open Space Parcel 16026-11 includes over 50% of the proposed development area, therefore a reduction in dimensional requirements is allowed. The site plan depicts the applicable dimensional requirements.
- o Per subsection 6,
 - o The Open Space lot abuts half of the proposed residential lots.
 - o The Open Space lot will be conveyed to the Town
 - o A draft Maintenance Easement Agreement has been provided as a supplemental document.
 - o Proposed Open Space demarcation is shown on the site plan.
 - o The requirement for walkways, hiking trails, or bicycle paths for none abutting lots because they can sufficiently access the open space via individual driveways and the shared private road.

Section 800: Requirements & Design Standards

- o All proposed streets and infrastructure displayed on the site plan will be installed correctly. All proposed items are in accordance with the standards, specifications and procedures set forth in the regulations. A performance bond is not expected to be required.

Section 810: Subdivision Standards

- The land is of such character that it can be used for the intended purposes without undue adverse impact on public health or safety, the environment, neighboring properties, or the rural and historic character of the community.
- The proposed subdivision is residential. All residential structures will conform to the applicable building and energy codes set forth by the Town and the State.
- The property includes two separate Class II wetlands. This proposed subdivision will not have any impacts on these wetlands or their 50' buffers. Tree clearing, rock outcroppings, other water bodies and natural features are not expected to be impacted as part of this project.

Section 820: Streets

- A private road is proposed as part of this subdivision. Road design has been done in accordance with the Town regulations. A 70ft diameter cul-de-sac has been provided for Fire Protection Services.
- A road name approval by the Selectboard is in process and will be provided as soon as possible.
- VTrans permit 46279 is provided in a separate document.

Section 830: Water supply & Wastewater Disposal

- A State Wastewater permit is applicable and will be provided as soon as possible.

Section 840: Sidewalks & Street Lights

- Not applicable (rural development).

Section 835: Utilities in Major Subdivisions

- The site plan depicts adequate easements for utilities.
- Power supply has been evaluated. A letter from MWL will be provided as soon as possible.
- Fire Protection has been evaluated. A letter from the Fire Chief is provided as a separate document.

Section 850: Drainage Improvements

- The site plan depicts adequate surface drainage for the entire subdivision.
- Stormwater Discharge permits will be obtained, if applicable, prior to issuance of any building permit.

Section 860: Site Preservation and Improvements

- The site plan depicts adequate erosion control measures for the entire subdivision.
- Screening/landscaping is not applicable because proposed subdivision is surrounded by residential settlement of similar intent and previous residential subdivisions.

Section 860: Subdivision Organizations and Restrictions

- A draft Declaration of Covenants has been provided as a supplemental document.

As described above, the proposed project is expected to meet all applicable requirements for a Conservation Subdivision/Planned Unit Development in the RRA Zoning District.

Please review and let us know if you have any questions or comments.

Sincerely,
Tyler Mumley, P.E.



Mumley Engineering, Inc.



State of Vermont
Policy, Planning & Intermodal Development Division
Policy, Planning and Research Bureau
Development Review & Permitting Services Section
Barre City Place, 219 North Main Street [phone] 802-636-0037
Barre, VT 05641 [ttd] 800-253-0191
vtrans.vermont.gov

Agency of Transportation

March 28, 2024

Matthew Hall
5184 Laporte Road
Morristown, VT 05661
(Via e-mail only)

Subject: Morristown, VT100, L.S. 0020+32 LT
Permit ID 46279
19 VSA § 1111 Permit

Dear Mr. Hall:

Your application for a permit to work within the State Highway right-of-way to construct a new access to serve (3) lots created by a subdivision, at the location referenced above, has been processed by this office and is enclosed.

Pursuant to Title 19 VSA § 1111(b), authorization for work in the highway right-of-way is strictly contingent upon its compliance with all local ordinances and regulations relating to highways and land use. Furthermore, under Title 19 VSA § 1111(g), the agency or a municipal designee may suspend this authorization if the work fails to comply with such ordinances and regulations.

The permit will contain, but will not be limited to, the attached Special Conditions.

This permit addresses only access to, work within, and drainage affecting the State highway. It does not address other possible transportation issues, such as access to town highways, use of private roads, and use of railroad crossings. If relevant to the proposed development, such issues must be addressed separately.

If you have any further questions about this matter, please call me at **802 498-7055**. **In accordance with the Special Conditions, you must contact the District Transportation Office 6 prior to starting work within the State highway right-of-way. The telephone number in Berlin is (802) 917-2879.**

Sincerely,

DocuSigned by:
Nathan Covey
9CE869E33627456...

Nathan Covey
Permit Coordinator
Permitting Services

Enclosures

cc: **(Via e-mail only)**
District Transportation Office #6
Mumley Engineering - Tyler Mumley



FOR AGENCY USE ONLY

PERMIT ID# 46279

Town: Morristown
Route: VT 100
Mile Marker: 0.384 LT
Log Station: 20+32 LT

VERMONT AGENCY OF TRANSPORTATION
State Highway Access and Work Permit

Applicant to Complete

Owner's/Applicant's Name, Address, E-mail & Phone No. Matthew Hall
5184 Laporte Road Morrisville VT 05661 mkhall@me.com (720) 210-4061
Co-Applicant's Name, Address, E-mail & Phone No. (if different from above) N/A
Northwest side of VT Rte 100, 175 yards from intersection with
The location of work (town, highway route, distance to nearest mile marker or intersection & which side)
Northwest side of VT Rte 100, 500 yard from intersection with Lawrence Rd.
Description of work to be performed in the highway right-of-way (attach plan)
Proposed curbcut for 16' private gravel road with 24' paved apron opening onto VT Rte 100. Apron conforms to VTrans B-71 Standards.

Property Deed Reference Book: 219 Page: 202-203 (only required for Permit Application for access)
Fee \$ 250.00 (fees do not apply for residential or agricultural purposes)
Is a Zoning Permit required? Yes [X] No [] - If Yes, # 2023-121
Is a 30 VSA § 248 permit required? Yes [X] No [] - If Yes, #
Is an Act 250 permit required? Yes [] No [X] - If Yes, #
Other permit(s) required? Yes [X] No [] - If Yes, name and # of each WW - Pending
Date applicant expects work to begin TBD 20
Owner/Applicant: Matthew Hall Position Title: Landowner

Sign in Shaded area: [Signature] Date: 11/10/2023

Co-Applicant: Position Title:
Sign in Shaded area: Date:

INSTRUCTIONS: -Contact the Development Review and Permitting Services Section (802.636.0037) or your local area Transportation Maintenance District Office to determine your issuing authority. The issuing authority will determine what plans, fee and other documents are required to be submitted with your Vermont Statutes Annotated, Title 19, Section 1111, permit application request.
- Original signatures are required on an original Form. The Owner/Applicant and Co-Applicant (if applicable) declares under the pains and penalty of perjury that all information provided on this form and submitted attachments are to the best of their knowledge true and complete.
FEE: -See Fee Schedule for applicable administrative processing and application review fee.

PERMIT APPROVAL

This covers only the work described below: Permission is granted to work within the State Highway right-of-way to construct a new access to serve (3) lots created by a subdivision, at the location indicated, in accordance with the attached plan and permit special conditions.

The work is subject to the restrictions and conditions on the reverse page, plus the Special Conditions stated on the attached page(s).
Date work is to be completed December 1, 2024 Date work accepted:

DocuSigned by:
By Craig Keller Issued Date March 28, 2024
Authorized Representative for Secretary of Transportation By: DTA or Designee

NOTICE: This permit covers only the Vermont Agency of Transportation's jurisdiction over this highway under Vermont Statutes Annotated, Title 19, Section 1111. It does not release the petitioner from the requirements of any other statutes, ordinances, rules or regulations. This permit addresses only access to, work within, and drainage affecting the state highway. It does not address other possible transportation issues, such as access to town highways, use of private roads, and use of railroad crossings. If relevant to the proposed development, such issues must be addressed separately.

No work shall be done under this permit until the owner/applicant has contacted the District Transportation Office at:
District #6 1736 US 302, Berlin, VT 05641 802-917-2879
July 1, 2016 (All previously dated editions are not valid)

RESTRICTIONS AND CONDITIONS

DEFINITIONS:

"Agency" means the Vermont Agency of Transportation (a/k/a VTrans).

"Engineer" means the authorized agent of the Secretary of Transportation.

"Owner/Applicant" means the party(s) to whom the permit is to be issued.

"Co-Applicant" means the party who performs the work, if other than Owner/Applicant or a secondary Owner/Applicant under a joint permit application.

"Permit Holder" means the party who currently owns the lands abutting the highway that are the subject of the permit.

GENERAL:

By accepting this permit, or doing any work hereunder, the Owner/Applicant agrees to comply with all of the restrictions and conditions and any imposed special conditions. If the Owner/Applicant is aggrieved by the restrictions and conditions or special conditions of the permit, they shall submit a written request for consideration to the Engineer within 30-days of permit issuance and prior to starting any work. No work will be authorized by the Agency, or performed under the permit, until the dispute is fully resolved.

Vermont Statutes Annotated, Title 30, Chapter 86 ("Dig Safe") requires notice to Dig Safe before starting excavation activities. The Permit Holder or his/her contractor must telephone Dig Safe at 811 at least 48 hours (excluding Saturdays, Sundays and legal holidays) before, but not more than 30 days before, starting excavation activities at any location. In addition, please note that the Agency and many municipalities are not members of Dig Safe and will need to have their utility facilities investigated with due diligence prior to starting excavation activities in or on the State Highway right-of-way.

The Permit Holder is to have a supervisory representative present any time work is being done in or on the State Highway right-of-way. A copy of this permit and Special Conditions must be in the possession of the individual performing this work for the Permit Holder.

Except with the specific, written permission of the District Transportation Administrator, all work in the State Highway right-of-way shall be performed during normal daylight hours and shall cease on Sunday, on all holidays (which shall include the day before and the day following), during or after severe storms, and between December 1 and April 15. These limitations will not apply for the purposes of maintenance, emergency repairs, or proper protections of the work which includes, but not limited to, the curing of concrete and the repairing and servicing of equipment.

The Owner/Applicant shall be responsible for all damages to persons or property resulting from any work done under this permit, even if the Applicant's Contractor performs the work. All references to the Owner/Applicant also pertain to the Co-Applicant.

The Owner/Applicant must comply with all federal and state statutes or regulations and all local ordinances controlling occupancy of public highways. In the event of a conflict, the more restrictive provision shall apply.

The Owner/Applicant must, in every case where there is a possibility of injury to persons or property from blasting, use a pre-approved Blasting Plan. All existing utility facilities shall be protected from damage or injury.

The Owner/Applicant shall erect and maintain barriers needed to protect the traveling public. The barriers shall be properly lighted at night and must be MUTCD (Manual on Uniform Traffic Control Devices) compliant.

All temporary and permanent traffic control measures and devices shall be MUTCD compliant.

The Owner/Applicant shall not do any work or place any structures or obstacles within the State Highway right-of-way, except as authorized by this permit.

The Owner/Applicant may pay the entire cost of the salary, subsistence and traveling expenses of any inspector appointed by the Engineer to supervise such work.

The Engineer may modify or revoke the permit at any time for safety-related reasons, without rendering the Agency or the State of Vermont liable in any way.

In addition to any other enforcement powers that may be provided for by the law, the Engineer may suspend this permit until compliance is obtained. If there is continued use or activity after suspension, the Engineer may physically close the work area and take corrective action to protect the safety of the highway users.

The Permit Holder shall be responsible to rebuild, repair, restore and make good all injuries or damage to any portion of the highway right-of-way that has been brought about by the execution of the permitted work, for a minimum period of eighteen (18) months after final inspection by the District.

Any approved variance from the permitted plans is to be recorded on "as-builts" with copies provided to both the Chief of Permitting Services and the District Transportation Administrator.

ACCESS:

This permit (if for access) does not become effective until the owner/applicant records in the office of the appropriate municipal clerk, the attached "Notice of Permit Action"

As development occurs on land abutting the highways, the Agency may revoke a permit for access and require the construction of other access improvements such as the combination of access points by adjoining owners.

Under Vermont Statutes Annotated, Title 19, Section 1111, no deed purporting to subdivide land abutting a state highway can be recorded unless all the abutting lots so created are in accordance with the standards of Section 1111.

The Permit Holder acknowledges and agrees that neither this permit nor any prior pattern of use creates an ownership interest or other form of right in a particular configuration or number of accesses to or through the highway right-of-way, and that the right of access consists merely of a right to reasonable access the general system of streets, and is not a right to the most convenient access or any specific configuration of access.

DRAINAGE:

The Owner/Applicant shall install catch basins and outlets as may be necessary, in the opinion of the Engineer, to preclude interference with the drainage of the state highway. Direct connections shall not be allowed without written approval.

UTILITY WORK; CUTTING AND TRIMMING TREES:

The Owner/Applicant shall obtain the written consent of the adjoining owners or occupants or, in the alternative, an order from the State Transportation Board in accordance with, Vermont Statutes Annotated, Title 30, Section 2506, regarding cutting of or injury to trees.

In general, all utilities shall be located adjacent to the State Highway right-of-way boundary line and shall be installed without damaging the highway or the highway right-of-way. No pole, push-brace, guy wire or other aboveground facilities shall be placed closer than 10 feet to the edge of traveled-way. If the proposed utility facilities are in conflict with the above, each location is subject to the approval of the Engineer.

Poles and appurtenances shall be located out of conflict with intersection sight distance, guardrail, ditches, signs, culverts, etc.

Where the cutting or trimming of trees is authorized by permit, all debris resulting from such cutting and trimming shall be removed from the State Highway right-of-way.

Open cut excavation for highway crossings is NOT the option of the Applicant, and may be utilized only where attempted jacking, drilling, or tunneling methods fail or are impractical. The Owner/Applicant shall obtain an appropriate modification of the highway permit from the Engineer before making an open cut.

JOINT PERMITS:

A joint permit application is required when more than one party will be involved with the construction, maintenance, and/or operation of the facility being constructed under this permit. Examples include, but are not limited to, joint ownership or occupancy of a utility pole line and construction of a municipal utility line by a contractor. Both utility companies, and in the second case, the municipality and the contractor, must be joint applicants.

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March 28, 2024
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SPECIAL CONDITIONS

This permit is granted subject to the restrictions and conditions on the back of the permit, with particular attention given to the Special Conditions listed below. This permit pertains only to the authority exercised by the Vermont Agency of Transportation (Agency) under Vermont Statutes Annotated, Title 19, Section 1111, and does not relieve the Permit Holder from the requirements of otherwise applicable statutes, rules, regulations or ordinances (e.g., Act 250, zoning, etc.). The Permit Holder shall observe and comply with all Federal and State laws and local bylaws, ordinances, and regulations in any manner affecting the conduct of the work and the action or operation of those engaged in the work, including all orders or decrees as exist at present and those which may be enacted later by bodies or tribunals having jurisdiction or authority over the work, and the Permit Holder shall defend, indemnify, and save harmless the State and all its officers, agents, and employees against any claim or liability arising from or based on the violation of any such law, bylaws, ordinances, regulations, order, or decree, whether by the Permit Holder in person, by an employee of the Permit Holder, by a person or entity hired by the Permit Holder, or by a Subcontractor or supplier.

The Permit Holder shall accomplish all work under this permit in accordance with detail D and the profile and notes of standard drawing B-71B, copy attached, and the attached plan dated Received 03/11/2024.

The Permit Holder shall file a municipal clerk certified copy of the recorded “Notice of Permit Action” within one (1) month of the permit issuance date in the Office of the Development Review and Permitting Services Section.

A preconstruction meeting to discuss work to be completed must be held prior to the Permit Holder’s employees or contractor beginning work. The Permit Holder is required to notify the District Transportation Administrator five (5) working days in advance of such meeting.

Please note that the Vermont Agency of Transportation is not a member of Dig Safe. The Permit Holder shall also contact Dan Ertel, State Signal Supervisor, at (802) 343-2188. Mr. Ertel will need to locate and mark all existing buried utility facilities owned by the Agency near the location of the proposed work.

Upon completion of the work, the Permit Holder shall be responsible to schedule and hold a final inspection. The Permit Holder is required to notify the District Transportation Administrator five (5) working days in advance of such inspection.

Roadway shoulder areas must be maintained free of unnecessary obstructions, including parked vehicles, at all times while work is being performed under this permit.

Two-way traffic shall be maintained at all times unless permission is granted from the District Transportation Administrator. Whenever two-way, one-lane controlled traffic is authorized to be maintained by the Applicant’s Contractor, **the traveling public shall not be delayed more than 10 minutes.**

All grading within the State Highway right-of-way associated with the proposed construction shall be subject to inspection and approval by the District Transportation Administrator or his or her staff. The

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March 28, 2024
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Permit Holder shall be responsible for ensuring that all grading work in or on the State Highway right-of-way complies with applicable statutes, rules, regulations or ordinances.

In areas to be grass covered, the Permit Holder shall restore turf by preparing the area and applying the necessary topsoil, limestone, fertilizer, seed, and mulch, all to the satisfaction of the District Transportation Administrator. The Permit Holder shall be responsible for ensuring that all turf restoration work in or on the State Highway right-of-way is in compliance with applicable statutes, rules, regulations or ordinances.

This permit does not become effective until the Permit Holder records, in the office of the appropriate municipal clerk, the attached "Notice of Permit Action". The Permit Holder, and their assigns and successors in interest, are obligated by this permit to complete, operate and maintain the access(es) in accordance with the Special Conditions.

The conditions of this permit and the land uses permitted herein in using the State highway access shall run with the land and are binding upon and enforceable against the Applicant and their successors and assigns.

No change shall be made to the design, operation or use of the approved access(es) without a permit amendment issued by the Agency of Transportation or a jurisdictional opinion from the Development Review and Permitting Services Section that a permit amendment is not required.

The access must be constructed in such a manner as to prevent water from flowing onto the State Highway. If the access is not constructed satisfactorily, the District Transportation Administrator can order reconstruction of the access at the Permit Holder's expense.

The access at L.S. 20+32 LT will serve Lots 5, 6 and the remaining lands owned by Hall, and to any future subdivisions of this property unless approved otherwise by the Agency. The Permit Holder is required to allow a connection and to grant an associated right to pass between the access and adjoining properties (in the future) that will result in a combination of accesses to serve more than one property or lot.

In the event traffic from this project increases to the point where traffic signals, additional lanes for turning or any other modifications are necessary, the Permit Holder shall bear the expense of such improvements or facilities. The Agency may require the Permit Holder to update or provide a traffic study to determine if additional modifications are necessary.

The Permit Holder is responsible for access maintenance (beyond the edge of paved shoulder). "Access maintenance" will include, but not be limited to, the surface of the access, the replacement and maintenance of the culvert, as necessary, the trimming of vegetation, and the removal of snow banks to provide corner sight distance.

In conformance with Vermont Statutes Annotated, Title 19, Section 1111(f), the Agency may eliminate this access in the future where development has burdened the highway system to such an extent that a frontage road or other access improvements (which may serve more than one property or lot) must be constructed to alleviate this burden. The Permit Holder shall bear the expense of the frontage road or

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other access improvements. The Agency shall determine the need of a frontage road or other improvements based upon and justified by standard Agency procedures.

The Permit Holder shall pave the access (drive) from the edge of paved shoulder to the State Highway right-of-way.

In the event of the Permit Holder's failure to complete all the work, approved under this permit, by the "work completion date," the Agency, in addition to any other enforcement powers that may be provided for by law, may suspend this permit until compliance is obtained. If there is continued use or activity after suspension, the Agency may physically close the driveway or access point if, in the Agency's opinion, safety of highways users is or may be affected.

The Permit Holder shall promptly and unconditionally pay for full repair and restoration of any and all damages to existing underground utility facilities (meaning any underground pipe, conduit, wire or cable, including appurtenances) that have been brought about by the execution of the permitted work. The Permit Holder also is required to pay for any costs to repair the highway following and resulting from any repairs to existing utilities occurring as a result of the work covered by this permit. Except with the specific, written permission of the Engineer, the Permit Holder or his or her contractor shall expose all underground facilities to verify their location and depth, at each location where the authorized boring or drilling work crosses a facility; and at reasonable intervals when closely paralleling a facility. Whenever possible, existing facilities should be crossed at a perpendicular angle. The Permit Holder shall be responsible for obtaining the modification of this permit, if necessary, for any additional survey work before initiating boring or drilling operations under the permit. The Agency will treat the Permit Holder's failure to fully, promptly, and conscientiously comply with all of conditions of this paragraph, including but not limited to the obligation to pay for repairs, as grounds for the Agency to refuse to grant any further requests by the Permit Holder for any other permits for subsurface work unless the Permit Holder furnishes irrevocable financial security, in a type and an amount deemed sufficient by the Agency in its sole discretion, prior to such future subsurface work.

The Permit Holder shall verify the appropriate safety measures needed, prior to construction, so proper devices and/or personnel are available when and as needed. Traffic control devices, shall be in conformance with the MUTCD (Manual on Uniform Traffic Control Devices), Agency standards and any additional traffic control deemed necessary by the District Transportation Administrator. The Permit Holder's failure to utilize proper measures shall be considered sufficient grounds for the District Transportation Administrator to order cessation of the work immediately.

The Permit Holder will perform construction in such a way as to minimize conflicts with normal highway traffic. When two-way traffic cannot be maintained, the Permit Holder shall provide a sign package that conforms to the MUTCD (Manual on Uniform Traffic Control Devices) or Agency standards, as well as trained Flaggers. The District Transportation Administrator may require a similar sign package with trained Flaggers whenever it is deemed necessary for the protection of the traveling public. In addition, the District Transportation Administrator may require the presence of Uniform Traffic Officers (UTOs); moreover, the presence of UTOs shall not excuse the Permit Holder from its obligation to provide the sign package and Flaggers.

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March 28, 2024
Page 4 of 5

When traffic control becomes so complex that the traffic control cannot be accomplished using Agency standards, the Permit Holder must submit a traffic control plan to the Agency's Permitting Services office for Agency approval prior to beginning work.

The Permit Holder shall ensure that all workers exposed to the risks of moving highway traffic and/or construction equipment wear high-visibility safety apparel meeting the requirements of ISEA (International Safety Equipment Association) "American National Standards for High-Visibility Safety Apparel," and labeled as ANSI (American National Standards Institute) 107-2004, or latest revisions, for Performance Class 2 or 3 requirements. A competent person - one designated by the Permit Holder's Contractor to be responsible for worker safety within the activity area of the State highway right-of-way - shall select the appropriate class of garment. The Engineer may suspend this permit until compliance is obtained.

Independence; Liability: The Permit Holder will act in an independent capacity and not as officers or employees of the State.

The Permit Holder shall defend the State and its officers and employees against all claims or suits arising in whole or in part from any act or omission of the Permit Holder or of any agent of the Permit Holder. The State shall notify the Permit Holder in the event of any such claim or suit, and the Permit Holder shall immediately retain counsel and otherwise provide a complete defense against the entire claim or suit.

After a final judgment or settlement, the Permit Holder may request recoupment of specific defense costs and may file suit in the Washington Superior Court requesting recoupment. The Permit Holder shall be entitled to recoup costs only upon a showing that such costs were entirely unrelated to the defense of any claim arising from an act or omission of the Permit Holder.

The Permit Holder shall indemnify the State and its officers and employees in the event that the State, its officers or employees become legally obligated to pay any damages or losses arising from any act or omission of the Permit Holder.

Insurance: Before beginning any work under this Permit the Permit Holder must provide certificates of insurance to show that the following minimum coverages are in effect. It is the responsibility of the Permit Holder to maintain current certificates of insurance on file with the State for the duration of work under the Permit. No warranty is made that the coverages and limits listed herein are adequate to cover and protect the interests of the Permit Holder for the Permit Holder's operations. These are solely minimums that have been established to protect the interests of the State.

Workers' Compensation: With respect to all operations performed under the Permit, the Permit Holder shall carry workers' compensation insurance in accordance with the laws of the State of Vermont.

General Liability and Property Damage: With respect to all operations performed under the Permit, the Permit Holder shall carry general liability insurance having all major divisions of coverage including, but not limited to:

Premises - Operations
Products and Completed Operations

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March 28, 2024
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Personal Injury Liability
Contractual Liability

The policy shall be on an occurrence form and limits shall not be less than:

\$2,000,000 Per Occurrence
\$2,000,000 General Aggregate
\$2,000,000 Products/Completed Operations Aggregate
\$ 50,000 Fire/Legal Liability

Permit Holder shall name the State of Vermont and its officers and employees as additional insureds for liability arising out of this Permit.

Automotive Liability: The Permit Holder shall carry automotive liability insurance covering all motor vehicles, including hired and non-owned coverage, used in connection with the Permit. Limits of coverage shall not be less than: \$1,000,000 combined single limit.

Permit Holder shall name the State of Vermont and its officers and employees as additional insureds for liability arising out of this Permit.

VERMONT AGENCY OF TRANSPORTATION
NOTICE OF PERMIT ACTION

Grantor (Owner/Applicant): MATTHEW HALL
Address: Street: 5184 Laporte Road
City/State/ZIP: MORRISTOWN, VT 05661

Location of Work:

Town:	Morristown
Route:	VT100
Log Station/MM:	0020+32 / 0.39

Property Deed Reference: Book: 219 Page: 202-203

Permit ID #: 46279

Description of Work: CONSTRUCT A NEW ACCESS TO SERVE (3) LOTS CREATED BY A SUBDIVISION

Issued Permit Notice of Violation
 Suspension of Permit Withdrawn

Action Date: March 28, 2024

Signature: 
28D78E0912D14B4...
Authorized Representative for
the Secretary of Transportation

Location of Record: Vermont Agency of Transportation
Development Review & Permitting Services Section
Barre City Place, 219 North Main Street
Barre, Vermont 05641

Town/City of _____ Clerk's Office
Received _____ at _____ a.m./p.m.
and recorded in Book _____ on Page _____
of land records. _____
Attest: _____
Assistant Town/City Clerk

LEGEND

These standard symbols will be found in the drawing.

- Utility Pole
- Iron Rod
- ⊙ Iron Pipe
- DP—DP—DP—DP— Overhead Utility
- Boundary
- - - - - Easement
- Setback
- - - - - Sewerage Easement

Thomas Paine
146/543
86/272 Key
4904 Laporte Road
Morristown, VT 05661

Lot 3
Taxmap #16-026-03
Samuel Paine & Kristi McFarlane
296/60
10.05 Acres
4902 Laporte Road
Morristown, VT 05661

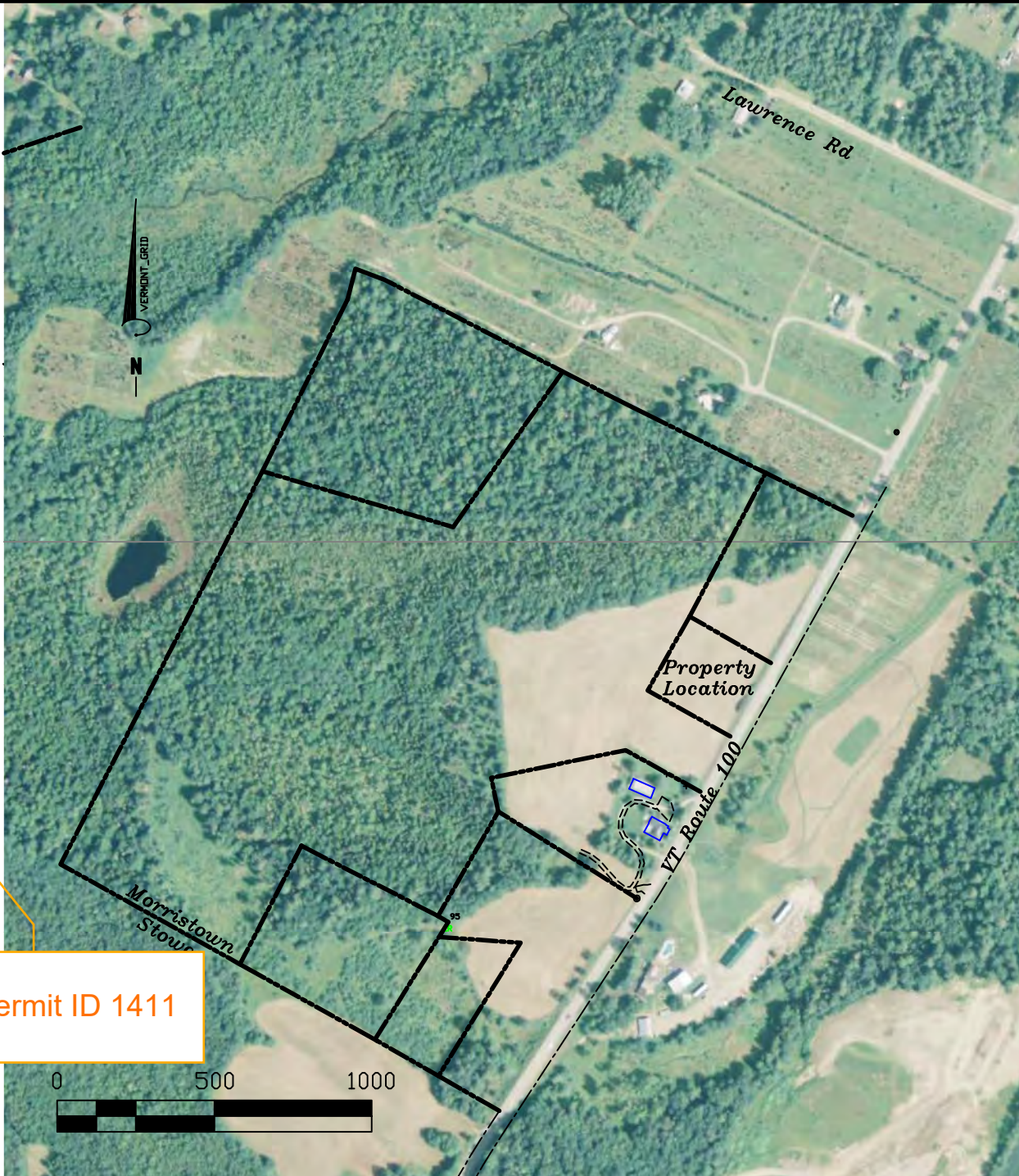
LINE	BEARING	DISTANCE
L16	N 63°39'20" W	418.96'
L17	N 77°10'19" W	71.66'
L18	N 09°05'22" W	73.52'
L19	N 60°17'53" W	126.30'
L20	N 63°12'50" W	154.02'
L21	S 78°43'56" W	204.25'
L22	S 35°10'03" W	149.58'

CURVE	RADIUS	ARC	LENGTH	CHORD	LENGTH	CHORD	BEARING	DELTA ANGLE
C1	57.35'	51.40'	49.70'	49.70'	49.70'	49.70'	N 35°07'12" W	151°20'55"

VTrans L.S. 20+32 LT
VTrans Standard B-71 B Detail D
and all notes 24 ft wide
Paved Commercial access

VTrans Permit ID 1411

VTrans Permit ID 42071



NOTES:

- Orientation is Vermont Grid North.
- Highway width assumed 3 rods wide centered on the traveled way.
- Per Reference #3, there is a spring line that services the two houses southerly of the Town Line. The symbol location on this plan is approximate.
- The narrow footpath to Molly's Bog is on land of Thomas Paine.
- The reputed Stowe/Morristown town line is based on field evidence. It is not the intention of this plat to define political boundaries.
- This property falls within the Morrisville RRA zoning district.
- A ruling on the transmission line is on record with the Public Service Board. A width of 100' centered on the transmission line is typical.

REFERENCES:

- A Transit-Theodolite & Tape Survey, A Portion Of The Thomas Paine Property, Morrilltown, Vermont, by Gove Land Surveyors, Inc., September 23, 1989
- Agreement Lines between Thomas B. Paine & Kathryn H. Paine and Max H. Paine, Jr. & Lorraine G. Paine, by Little River Survey Company, LLC, July 2001, Job #00817
- Plan of Land in Stowe, Vermont Being Retained By Kenneth L. & Raymond L. Beaugrand, by Spear Surveying, Inc., May 1986, Job No. 70-87A
- Survey For James Marvin, Morrilltown, Vermont, University Of Vermont and State Agricultural College, 22 January 1973, Recorded at UVM Land Records Office Drawer 4 Drawing M10Drawer 4 Drawing M10
- Land Of Matthew K. Hall, 5184 Laporte Road, Morrilltown, Vermont, by Little River Survey Company, LLC, Nov 2017, Job #16189
- Lot 3 Subdivision On Land Of Matthew K. Hall, 5184 Laporte Road, Morrilltown, Vermont, by Little River Survey Company, LLC, Nov 2020, Job #16189
- Boundary Line Adjustment, Thomas P. Paine, 4904 Laporte Road, Morrilltown, Vermont, by Little River Survey Company, LLC, Aug 2019, Job #19425
- Subdivision, Land Of Todd Shonio, Laporte Road, Morrilltown, Vermont, by Little River Survey, LLC, Oct 2023, Job #16189/23621
- Lot 4 Subdivision On Land Of Matthew K. Hall, 5184 Laporte Road, Morrilltown, Vermont, by Little River Survey Company, LLC, Oct 2023, Job #23623
- Lot 5 Subdivision On Land Of Matthew K. Hall, 5184 Laporte Road, Morrilltown, Vermont, by Little River Survey Company, LLC, Dec 2023, Job #23623
- Digital File: Matt Hall Sbdv Laporte Rd 12-08-23 FOR EMAIL.dwg, from Mmllc Eng LLC

Preliminary

VTrans Permitting Services
Permit # 46279
Received 03/11/2024

Lot 6 Subdivision On Land Of
Matthew K. Hall
5184 Laporte Road
Morrilltown, Vermont

MONUMENT TABLE:

95 3/8" IRS, #608 cap, 0.75" high
99 3/8" IRS, #608 cap, 0.1" high
106 3/8" IRF, 0.5" down
107 1.5" ID IPF, 2.35" high
115 3/8" IRS, #608 cap, 0.2" high
118 3/8" IRS, #608 cap, flush
142 3/8" IRS, #608 cap, 0.8" high
143 3/8" IRS, #608 cap, 1.2" high
145 3/8" IRS, #608 cap, 0.8" high
146 3/8" IRS, #608 cap, flush
147 3/8" IRS, #608 cap, 0.7" high
150 3/8" IRF, 0.15" high
151 1.5" ID IPF, 0.2" high
152 3/8" IRS, #608 cap, 1" high
153 3/8" IRF
154 3/8" IRF, flush
155 3/8" IRS, #608 cap, 0.75" high
156 3/8" IRS, #608 cap, 0.15" high
157 1.5" OD IPF, 3" high
160 3/8" IRS, #608 cap, 0.1" high
163 3/8" IRS, #608 cap, 1" high, 0.12' westerly of corner
164 3/8" IRS, #608 cap, 1.2" high
183 1" OD IPF, UVM SAC cap, 0.5" high
186 3/8" IRS, #608 cap, 1" high
504 3/8" IRS, #608 cap, 0.15" high
708 3/8" ID IPF, -0.5" down
905 3/8" IRS, #608 cap, flush
906 3/8" IRS, #608 cap, 0.2" high
1096 3/8" IRF, Spear, 0.2" down
8110 1.5" OD IPF, 3" high

LAT: 44°29'46.6805"
LON: 72°38'19.2340"

Paul E. Percy
122/514 (Stowe)
296/237
415/282
MB 18 P 108
26 Tinker Lane
Stowe, VT 05672

Gregory & Sharon Celinas
(Stowe)
994/268
MB 5 P 100
3351 Pucker St.
Stowe, VT 05672

The recordable mylar plat conforms with 27 VSA 1403. Survey information is based on a GPS and total station survey and is consistent, except as noted, with previous surveys, field evidence, and references shown to the best of my knowledge and belief. See survey notes for additional details. Except for the recordable mylar, only copies with an embossed seal are certified by the land surveyor.

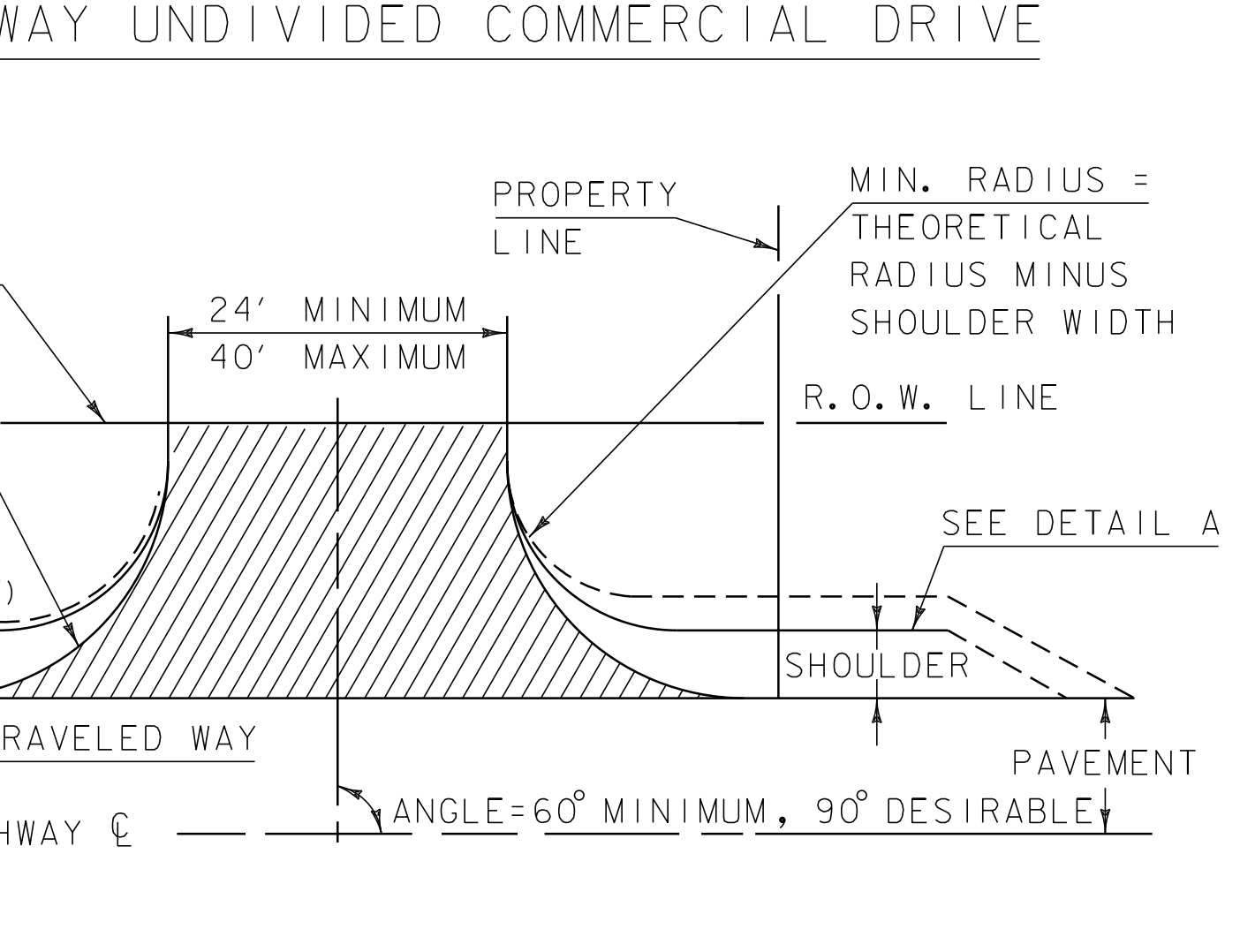
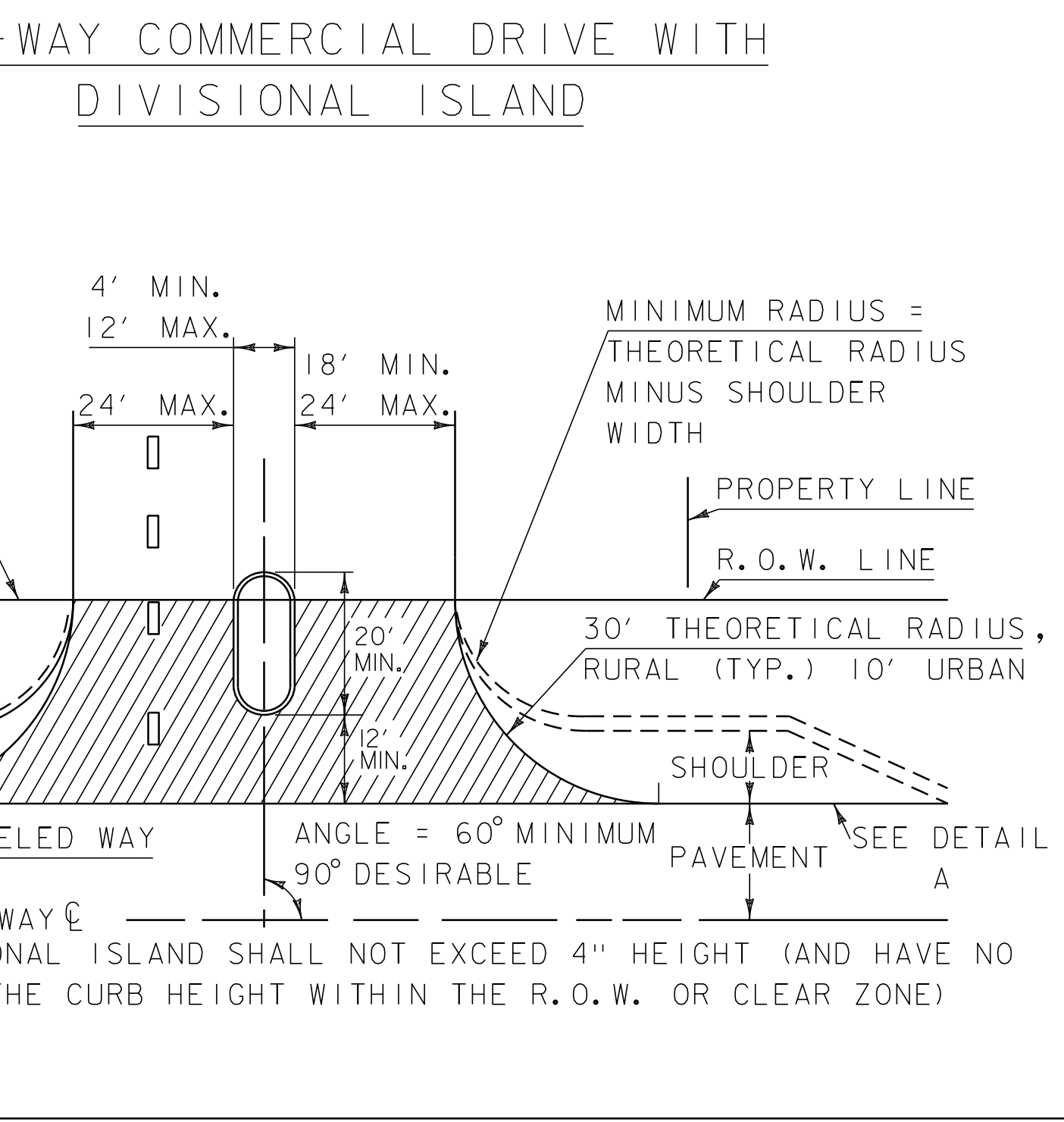
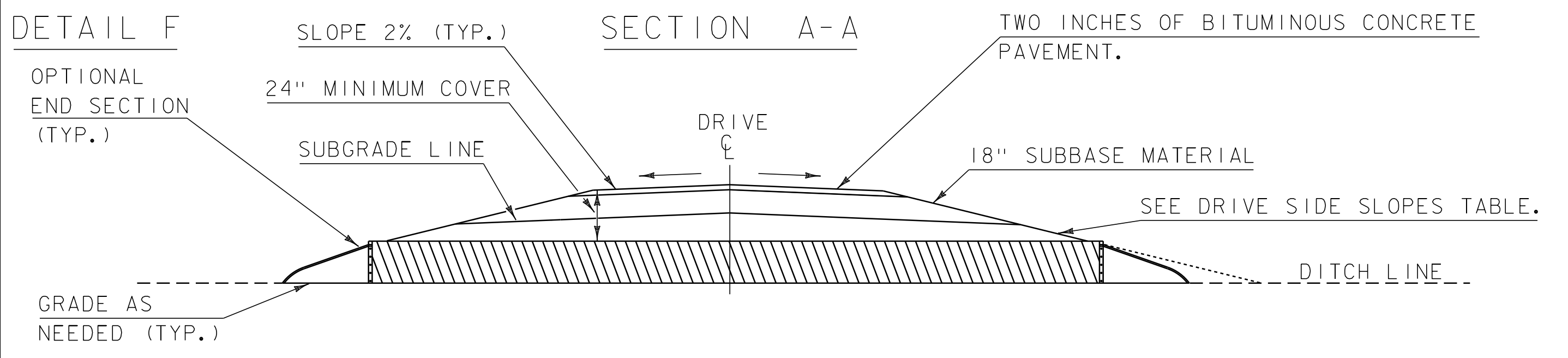
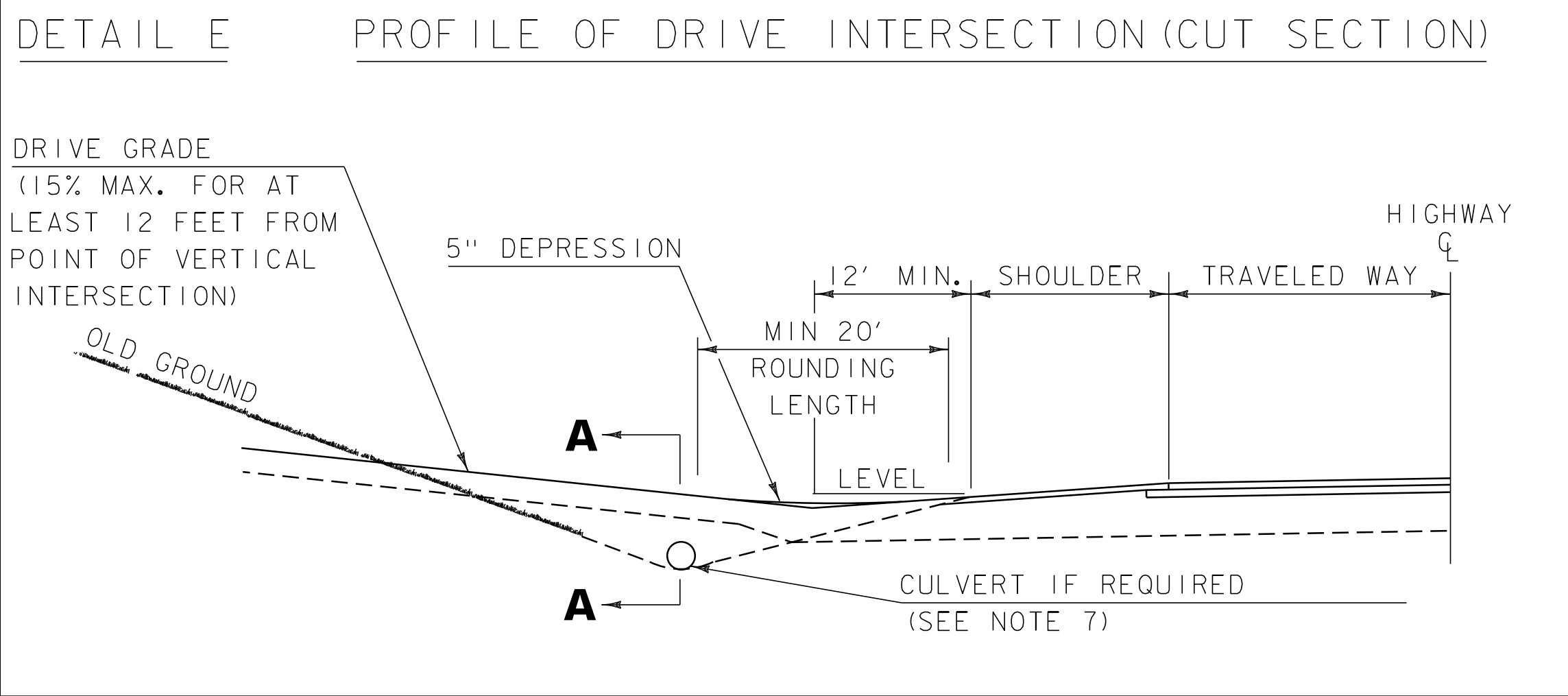
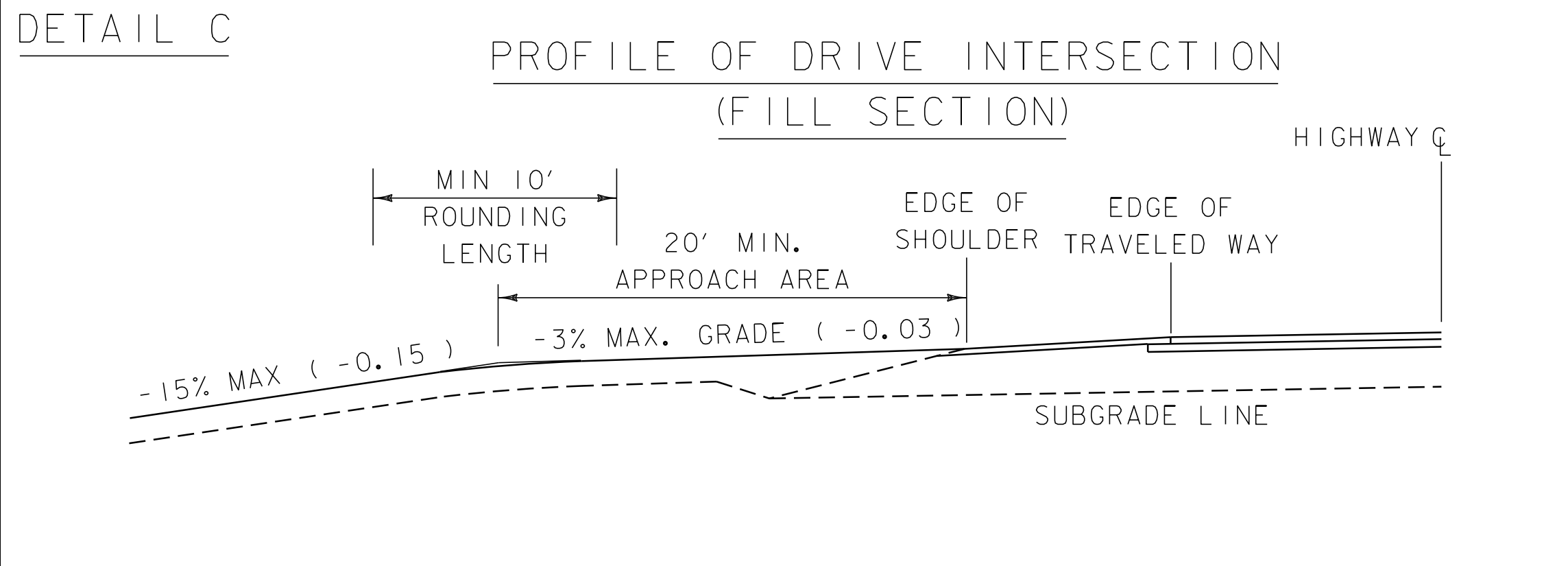
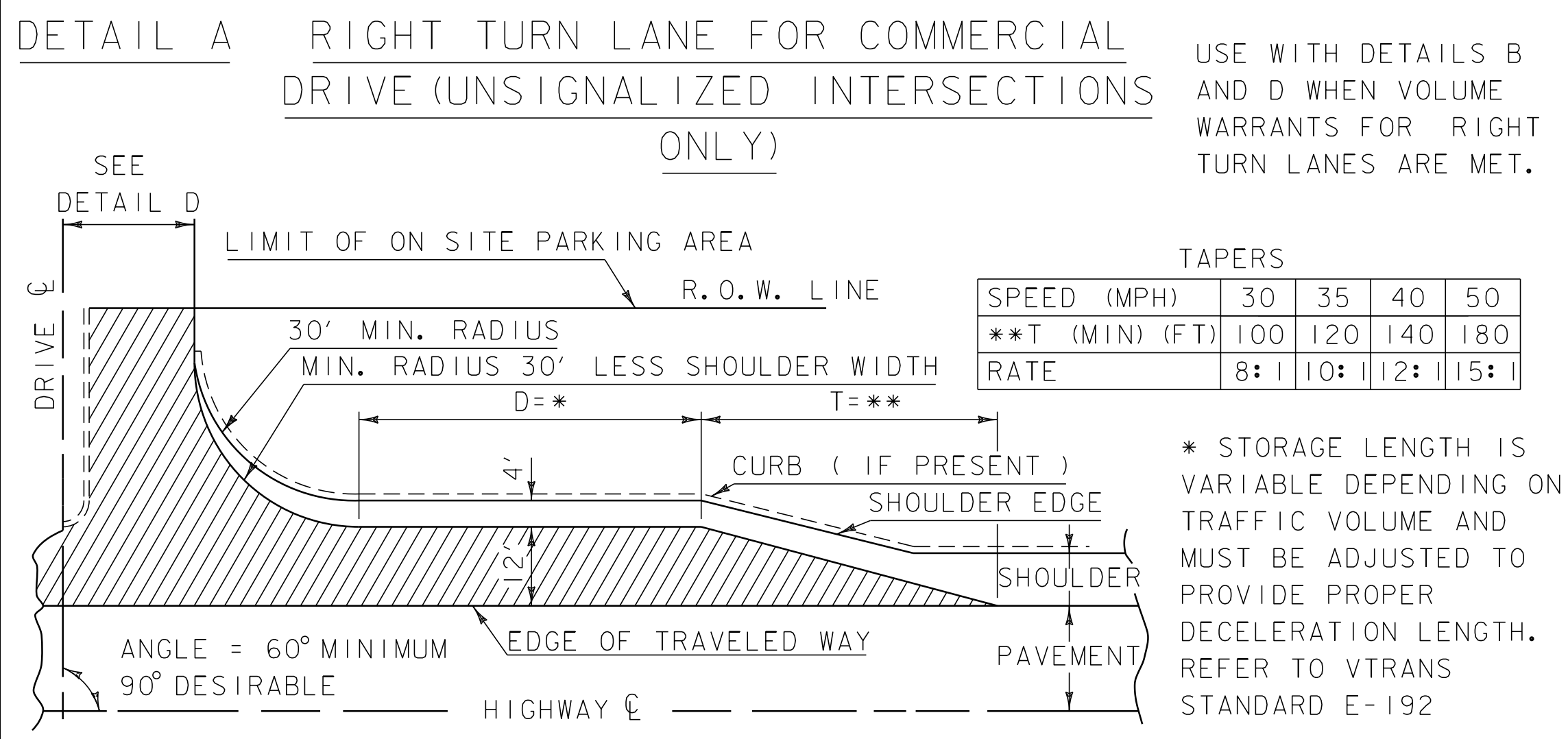


SHEET 1 OF 1

Little River Survey Company, L.L.C.
P.O. Box 1147, 3283 Pucker Street
Stowe, Vermont 05672
Tel: (802) 793-9673

SCALE: 1"=200'
DRAWN BY: PSK
CHECK BY:
DATE: Mar 2024
JOB: 16189/23623

The recordable plat is original ink on mylar.



DRIVE SIDE SLOPES TABLE

LOCATION OF SLOPE	SLOPE RATE
DESIGN SPEED > 40 MPH	1:6 OR FLATTER
URBAN AREAS, OR DESIGN SPEED < 40 MPH	1:4 DESIRABLE 1:2 ALLOWABLE
OUTSIDE CLEAR ZONE	1:2 OR FLATTER

- THIS SHEET IS INTENDED FOR USE BY DESIGNERS ON HIGHWAY PROJECTS AND IN CONJUNCTION WITH A PERMIT FOR WORK WITHIN HIGHWAY RIGHTS OF WAY. ALL CONSTRUCTION REQUIRED BY THE PERMIT AND INDICATED ON THIS SHEET SHALL BE THE RESPONSIBILITY OF THE APPLICANT AND IS SUBJECT TO THE APPROVAL OF THE VERMONT AGENCY OF TRANSPORTATION. WHEN USED WITH THE PLANS FOR A HIGHWAY CONSTRUCTION PROJECT, THIS SHEET IS INTENDED TO BE A GUIDE FOR THE DESIGNER CONCERNING DRIVE WIDTHS, HORIZONTAL, VERTICAL AND GEOMETRIC CHARACTERISTICS.
- ALL COMMERCIAL DRIVES SHALL BE PAVED FROM THE EDGE OF THE TRAVELED WAY TO THE HIGHWAY RIGHT-OF-WAY, TO THE FARTHEST POINT OF CURVATURE ON THE DRIVEWAY EDGE OR AS DIRECTED BY THE DISTRICT TRANSPORTATION ADMINISTRATOR. THIS PAVING IS INDICATED IN DETAILS (A, B AND D) BY HATCHING.
- DEPTH OF SUBBASE AND PAVEMENT TO BE THE SAME AS HIGHWAY OR AS SHOWN IN DETAIL F WITHIN THE LIMITS OF THE HIGHWAY RIGHT-OF-WAY.
- VEHICULAR ACCESS FROM PARKING AREAS TO THE RIGHT-OF-WAY AT OTHER THAN APPROVED ACCESS POINTS WILL BE PREVENTED BY THE CONSTRUCTION OF CURBING OR OTHER SUITABLE PHYSICAL BARRIER.
- IF CURB IS PRESENT, SEE APPROPRIATE CURB DETAIL STANDARD.
- WHERE TRAFFIC VOLUME FOR A PROJECT IS SUBSTANTIAL THE AGENCY MAY REQUIRE SPECIAL LANES FOR TURNING, SIGNALS OR OTHER MODIFICATIONS. BASED ON TRAFFIC STUDIES THE AGENCY WILL DETERMINE SPECIFIC TREATMENT TO BE USED.
- CIRCULAR DRAINAGE CULVERTS UNDER DRIVES SHALL HAVE A MINIMUM INSIDE DIAMETER (I.D.) OF 15" OR AS OTHERWISE SHOWN ON THE PLANS. PIPE ARCHES USED UNDER DRIVES SHALL HAVE A MINIMUM INSIDE CROSS-SECTIONAL AREA EQUIVALENT TO THAT PROVIDED BY A 15" CIRCULAR PIPE. IF A CULVERT LARGER THAN 15" IS LOCATED UPSTREAM OF THE PROPOSED CULVERT THEN THE NEW CULVERT SHALL, AS A MINIMUM, MATCH THE SIZE OF THE UPSTREAM CULVERT.
- THE OFFSET BETWEEN THE PROPERTY LINE AND THE EDGE OF THE DRIVEWAY MAY BE GOVERNED BY LOCAL ZONING LAWS. DRIVEWAY WIDTH RESTRICTIONS SHOWN PERTAIN ONLY TO THE AREA WITHIN THE HIGHWAY R.O.W. OR THE END OF THE TURNING RADIUS WHICHEVER IS GREATEST.
- DRIVEWAY GRADES STEEPER THAN THOSE SHOWN MAY BE ALLOWED AS LONG AS A 20' APPROACH AREA IS ACHIEVED FOR THE VEHICLE TO PAUSE BEFORE ENTERING THE HIGHWAY.
- THIS STANDARD APPLIES TO LARGER RESIDENTIAL DEVELOPMENTS, SUBDIVISIONS AND OTHER COMMERCIAL ACCESSES. SEE VTRANS STANDARD B-71A FOR FIELD DRIVES, LOGGING DRIVES, AND RESIDENTIAL ACCESSES SERVING UP TO TWO SINGLE FAMILY HOMES OR A DUPLEX.
- FOR DRIVEWAY AND INTERSECTION SPACING DISTANCES REFER TO THE "VERMONT AGENCY OF TRANSPORTATION ACCESS MANAGEMENT PROGRAM GUIDELINES", LATEST REVISION.
- INTERSECTION SIGHT DISTANCES, EQUAL TO OR GREATER THAN THOSE SHOWN BELOW, SHOULD BE PROVIDED IN BOTH DIRECTIONS FOR ALL DRIVES ENTERING ON PUBLIC HIGHWAYS, UNLESS OTHERWISE APPROVED BY THE AGENCY OF TRANSPORTATION. INTERSECTION SIGHT DISTANCE IS MEASURED FROM A POINT ON THE DRIVE AT LEAST 15 FEET FROM THE EDGE OF TRAVELED WAY OF THE ADJACENT ROADWAY AND MEASURED FROM A HEIGHT OF EYE OF 3.5 FEET ON THE DRIVE TO A HEIGHT OF 3.5 FEET ON THE ROADWAY. STOPPING SIGHT DISTANCE IS MEASURED FROM AN EYE HEIGHT OF 3.5 FEET TO AN OBJECT HEIGHT OF 2.0 FEET ON THE ROADWAY.

SIGHT DISTANCE TABLE

POSTED SPEED OR DESIGN SPEED (MPH)	MINIMUM STOPPING SIGHT DISTANCE (FT)	MINIMUM INTERSECTION SIGHT DISTANCE (FT)
25	155	280
30	200	335
35	250	390
40	305	445
45	360	500
50	425	555
55	495	610

THE ABOVE VALUES ARE TAKEN FROM THE 2011 AASHTO "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS & STREETS."

REV.	DATE	DESCRIPTION
0	JUL. 1, 2019	ORIGINAL APPROVAL
OTHER STANDARDS REQUIRED:		

COMMERCIAL DRIVES



STANDARD B-71B

Certificate Of Completion

Envelope Id: 641E6C5EC96B4D30B54A6251B9FD8BFA
 Subject: Complete with DocuSign: Morristown Permit 46279 Hall.pdf
 Source Envelope:
 Document Pages: 11 Signatures: 3
 Certificate Pages: 2 Initials: 1
 AutoNav: Enabled
 Envelopeld Stamping: Enabled
 Time Zone: (UTC-05:00) Eastern Time (US & Canada)

Status: Completed
 Envelope Originator:
 Nathan Covey
 One National Life Drive - Dewey Building
 Montpelier, VT 05620-2001
 Nathan.Covey@vermont.gov
 IP Address: 174.83.75.142

Record Tracking

Status: Original 3/28/2024 7:30:03 AM	Holder: Nathan Covey Nathan.Covey@vermont.gov	Location: DocuSign
Security Appliance Status: Connected	Pool: StateLocal	
Storage Appliance Status: Connected	Pool: AOT - Agency of Transportation - AOT40	Location: DocuSign

Signer Events

Nathan Covey
 nathan.covey@vermont.gov
 SOV
 Security Level: Email, Account Authentication (None)

Signature

DocuSigned by:


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Timestamp

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 Viewed: 3/28/2024 7:31:43 AM
 Signed: 3/28/2024 7:31:48 AM

Electronic Record and Signature Disclosure:
 Not Offered via DocuSign

Theresa Gilman
 Theresa.Gilman@vermont.gov
 Utilities & Permits Supervisor
 SOV
 Security Level: Email, Account Authentication (None)


 Signature Adoption: Pre-selected Style
 Using IP Address: 104.219.99.139

Sent: 3/28/2024 7:31:49 AM
 Viewed: 3/28/2024 11:57:49 AM
 Signed: 3/28/2024 12:05:04 PM

Electronic Record and Signature Disclosure:
 Not Offered via DocuSign

Craig Keller
 Craig.Keller@vermont.gov
 Chief of Permitting Services
 SOV
 Security Level: Email, Account Authentication (None)

DocuSigned by:

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 Signature Adoption: Pre-selected Style
 Using IP Address: 73.182.132.17

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 Signed: 3/28/2024 12:45:40 PM

Electronic Record and Signature Disclosure:
 Not Offered via DocuSign

In Person Signer Events	Signature	Timestamp
Editor Delivery Events	Status	Timestamp
Agent Delivery Events	Status	Timestamp
Intermediary Delivery Events	Status	Timestamp
Certified Delivery Events	Status	Timestamp

Carbon Copy Events	Status	Timestamp
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Witness Events	Signature	Timestamp
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Notary Events	Signature	Timestamp
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Envelope Summary Events	Status	Timestamps
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Certified Delivered	Security Checked	3/28/2024 12:39:18 PM
Signing Complete	Security Checked	3/28/2024 12:45:40 PM
Completed	Security Checked	3/28/2024 12:45:40 PM

Payment Events	Status	Timestamps
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DECLARATION OF COVENANTS

This Declaration Of Covenants (this “Declaration”) is made as of the ____ day of ____, 2026 by Matthew Hall, landowner (“Declarant”).

Background

A. Declarant owns certain real property named Taxmap #16-026-05 as depicted on a survey plat entitled “Lot 6 Subdivision” dated February, 2024, recorded as **Slide 296** in the Town of Morristown Land Records, and being all and the same lands and premises conveyed to it by a Warranty Deed recorded at Book 219, Pages 202-203 of the Town of Morristown Land Records (the “Property”).

B. The Town of Morristown Development Review Board (“DRB”) issued a Decision dated _____ (the “DRB Decision”) granting final Conservation Subdivision approval for as depicted on a plat entitled _____ prepared by Little River Survey Company, LLC, dated _____, and recorded as Slide _____ in the Town of Morristown Land Records (the “Plat”).

C. The DRB Decision authorized Declarant to develop the Property with a 6-lot Conservation Residential Subdivision including five residential lots with individual on-site water supplies and wastewater disposal systems, shared stormwater management system, private roadway access, dedicated Open Space (Parcel 16026-5), and other site improvements (the “Project”).

D. The DRB Decision states that a draft Shared Maintenance Agreement / Private Enforcement Documents or other legal documents outlining the maintenance and repair responsibilities of all shared improvements, including but not limited to access, utilities, and stormwater improvements, shall be recorded in the Land Records prior to the issuance of any zoning permit. A copy of the recorded agreement shall be provided to the Zoning Administrator and kept on file in the Planning and Zoning Office.

E. The Declarant ultimately intends to develop the Property with a 6-lot Residential Conventional Subdivision that will be sold to purchasing unit owners, but the Declaration and plans for the common interest community are yet to be developed and no Association has yet been formed to provide for its management.

F. Declarant wishes to establish certain covenants with respect to the Property to satisfy the DRB Decision until such time as a common interest community Declaration is recorded and a homeowners' association is formed to assume and perform the obligations contemplated by the DRB Decision.

NOW THEREFORE, the Declarant declares that the Property is hereby subjected to and shall be held, sold, occupied, and conveyed subject to the terms and provisions of this Declaration.

1. Maintenance Obligations. Declarant hereby declares that: (a) Open Space, roadway, utilities, and stormwater improvements located on the Property and serving any common interest lots on the Property shall be maintained, repaired and replaced as necessary so that they are in good condition, in compliance with applicable municipal and state permit conditions, and in compliance with applicable laws and regulations, subject to reasonable wear and tear; (b) the project roadway and turnaround shall be regularly snow-plowed in the winter to provide reasonable access to the Property in compliance with applicable municipal and state permit conditions and in compliance with applicable laws and regulations; and (c) trash, recycling, and compost collection and storage areas on the Property shall be maintained in a sanitary manner, and trash hauling from the Property shall be undertaken in a sanitary manner.

2. Costs of Maintenance. Until such time that the Declarant establishes a common interest community on the Property and sells a unit in such community to a third-party purchaser, Declarant shall have bear full responsibility for the costs of maintaining the Property as provided herein. If Declarant establishes a common interest community on the Property and creates a homeowners' association, then the costs of maintaining the Property as provided herein shall be allocated to and among the homeowners according to the Declaration or other governing documents of the common interest community.

3. Duration. The terms, covenants and restrictions established by this Declaration shall run with title to and shall bind the Property and any party having any right, title, or interest in the Property, and shall inure to the benefit of and shall be enforceable by Declarant and its successors and assigns. If Declarant establishes a common interest community on the Property and creates a homeowners' association, then Declarant may transfer and assign the terms, provisions, and obligations set forth in this Declaration to such homeowners' association, and upon such transfer and assignment, the homeowners' association shall be obligated to comply with the requirements of this Declaration and the Declarant shall be relieved of such obligations and any associated liability.

4. DRB Decision Compliance. The issuance of a zoning permit for the Project shall be conclusive evidence that the execution, delivery, and recording of this Declaration satisfies the DRB Decision.

5. Severability. Whenever possible, each provision of this Declaration shall be interpreted in such manner as to be effective and valid, but if the application of any provision of this Declaration to any person or to any property shall be prohibited or held invalid, such prohibition or invalidity shall not affect any other provision or the application of any provision which can be given effect without the invalid provision or application, and, to this end, the provisions of this Declaration are declared to be severable.

6. Governing Law. This Declaration shall be construed and governed in accordance with the internal laws of the State of Vermont, without regard to principles of conflict of laws.

By: _____
Matthew Hall

STATE/Commonwealth of _____

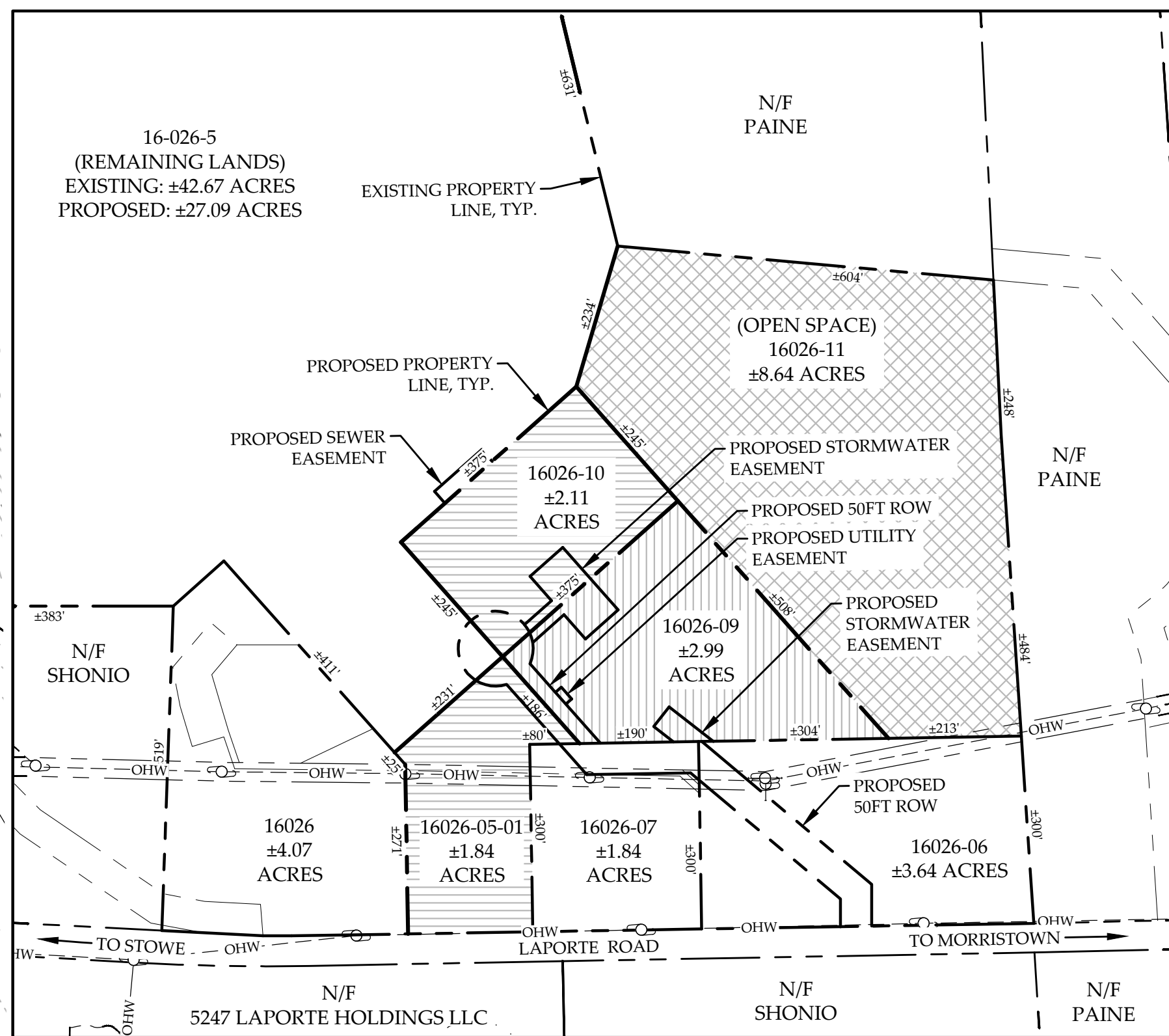
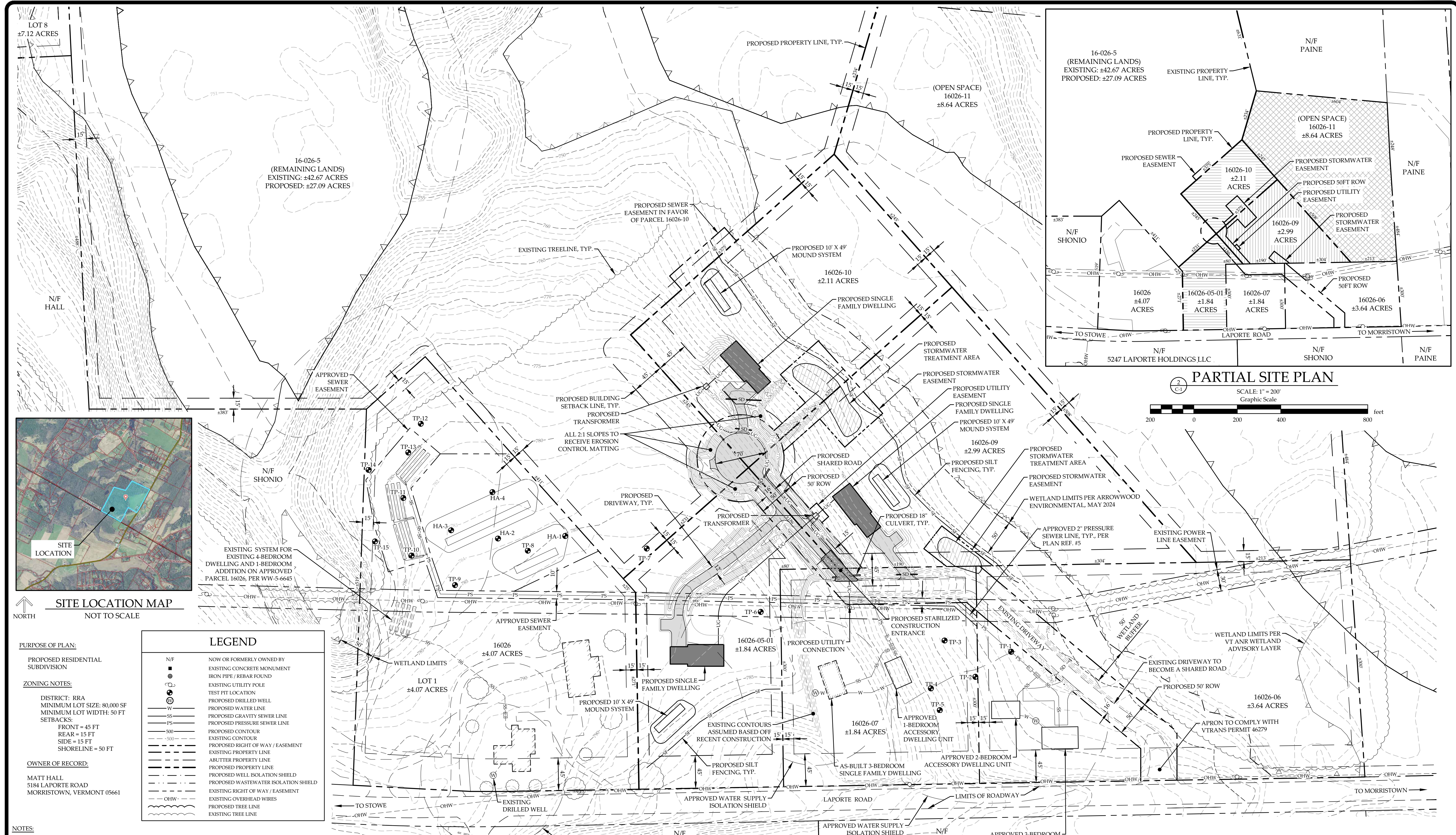
_____ COUNTY, SS.

This instrument was acknowledged before me on _____ by Matthew Hall.

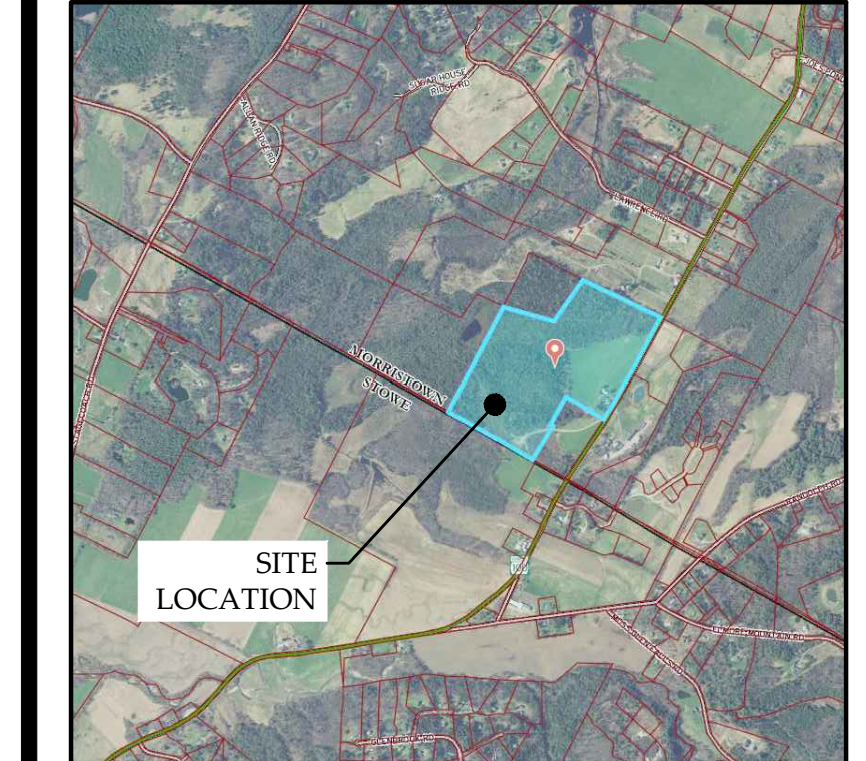
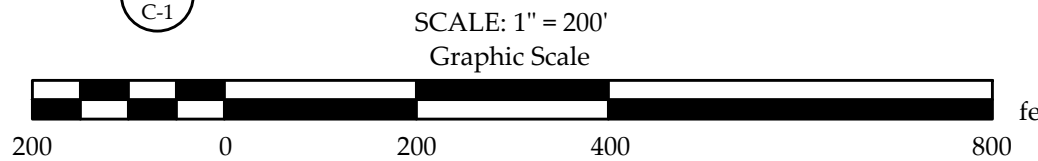
SEAL

Notary Public
My Commission Expires: _____

DRAFT



PARTIAL SITE PLAN



SITE LOCATION MAP
NOT TO SCALE

PURPOSE OF PLAN:
PROPOSED RESIDENTIAL SUBDIVISION

ZONING NOTES:
DISTRICT: RRA
MINIMUM LOT SIZE: 80,000 SF
MINIMUM LOT WIDTH: 50 FT
SETBACKS:
FRONT = 45 FT
REAR = 15 FT
SIDE = 15 FT
SHORELINE = 50 FT

OWNER OF RECORD:
MATT HALL
5184 LAPORTE ROAD
MORRISTOWN, VERMONT 05661

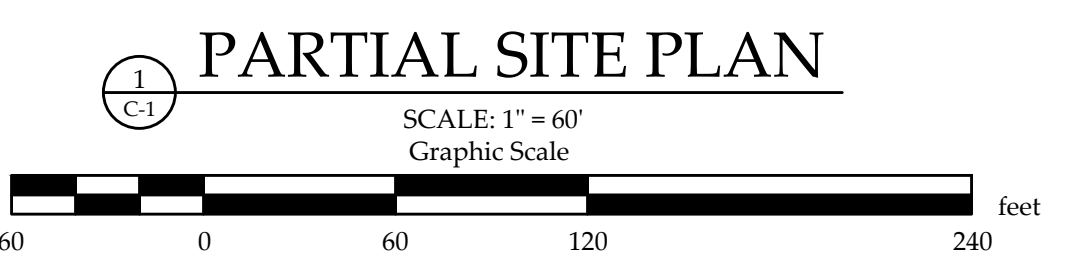
LEGEND	
N/F	NOW OR FORMERLY OWNED BY
●	EXISTING CONCRETE MONUMENT
○	IRON PIPE / REBAR FOUND
○	EXISTING UTILITY POLE
○	TEST PIT LOCATION
○	PROPOSED DRILLED WELL
—	PROPOSED WATER LINE
—	PROPOSED GRAVITY SEWER LINE
—	PROPOSED PRESSURE SEWER LINE
—	PROPOSED CONTOUR
—	EXISTING CONTOUR
—	PROPOSED RIGHT OF WAY / EASEMENT
—	EXISTING PROPERTY LINE
—	ABUTTER PROPERTY LINE
—	PROPOSED PROPERTY LINE
—	PROPOSED WELL ISOLATION SHIELD
—	PROPOSED WASTEWATER ISOLATION SHIELD
—	EXISTING RIGHT OF WAY / EASEMENT
—	EXISTING OVERHEAD WIRES
—	PROPOSED TREE LINE
—	EXISTING TREE LINE

NOTES:

- THIS DRAWING IS NOT A BOUNDARY SURVEY PLAT. BOUNDARY LINE INFORMATION SHOWN IS BASED ON PLAN REFERENCE #2. THE PROPERTY LINES, EASEMENTS AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THIS DRAWING ARE FOR ILLUSTRATION PURPOSES ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN V.S.A. TITLE 27 SECTION 1403 AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION. APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THIS TOPOGRAPHIC SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" BEFORE COMMENCING ANY WORK AND SHALL PRESERVE ALL EXISTING UTILITIES NOT SPECIFIED TO BE REMOVED OR ABANDONED AS PART OF THE PROJECT.

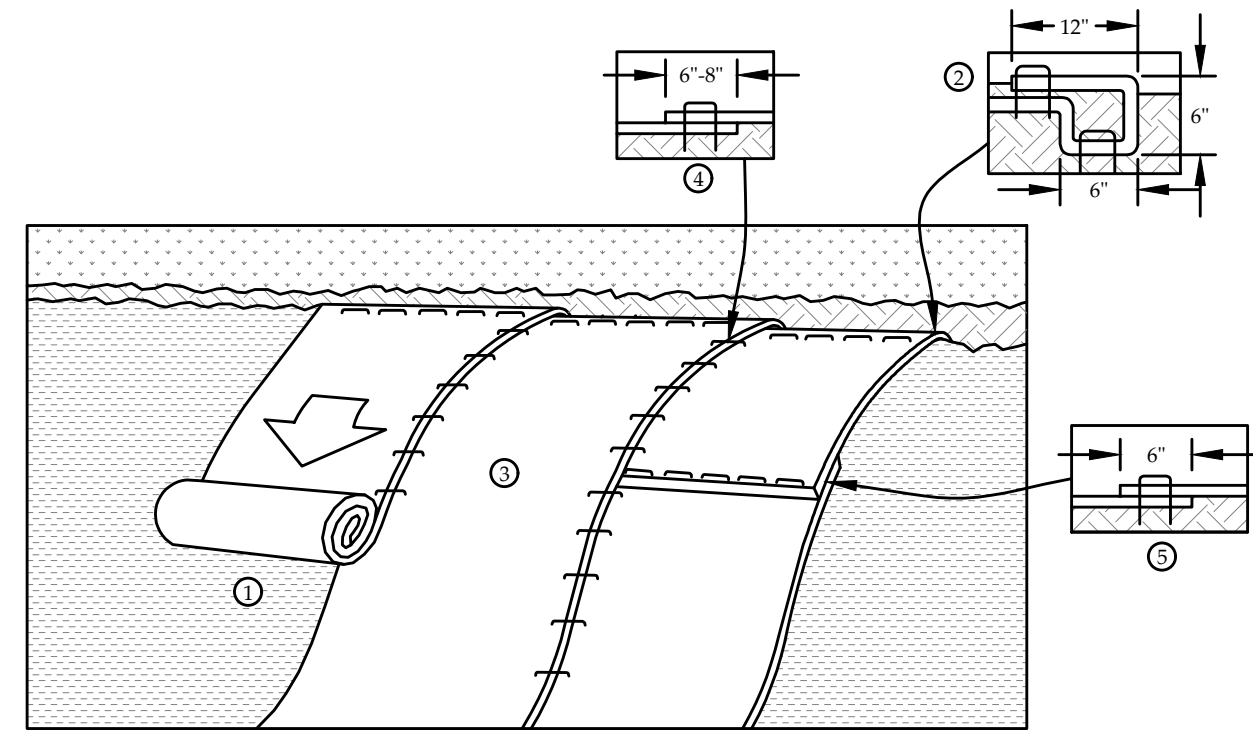
PLAN REFERENCES:

- TOPOGRAPHIC, ABUTTER PARCELS, AND ORTHOGRAPHIC INFORMATION TAKEN ELECTRONICALLY FROM THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION ON 10-22-20.
- PARCEL LINES, SOME ABUTTER PROPERTY CORNER MONUMENTS FOUND LOCATED BY LITTLE RIVER SURVEY CO. INFORMATION PROVIDED FROM THEM ON 9-14-20 AND 10-16-20.
- SITE INFORMATION TAKEN FROM REPLACEMENT SEPTIC SYSTEM SITE & DETAILS PLANS BY GRENIER ENGINEERING, PC, DATED 07/14/2014. SEE WASTEWATER PERMIT WW-5-6645.
- WETLANDS DELINEATION FROM ARROWWOOD ENVIRONMENTAL, MAY 2024.
- SITE INFORMATION TAKEN FROM SEPTIC SYSTEM SITE & DETAIL PLANS BY MUMLEY ENGINEERING, INC., DATED 11/13/23, LAST REVISED 12-01-23. SEE WASTEWATER PERMIT WW-5-6645-3.



PARTIAL SITE PLAN

<p>SITE PLAN MATT HALL 5184 LAPORTE ROAD MORRISTOWN, VERMONT</p>	
<p>MUMLEY ENGINEERING, INC. 46 HUTCHINS STREET MORRISVILLE, VT 05661 WWW.MUMLEYENGINEERING.COM COPYRIGHT © 2026 - MUMLEY ENGINEERING, INC.</p>	<p>PROJECT NO.20078.5 DRAWN BY: WEH/RCB/REB CHECKED BY:TRM SCALE:AS NOTED DATE:05/25/26</p>
<p>C-1 1 OF 2 SHEETS</p>	



NOTES:

- 1) PREPARE SOIL BEFORE INSTALLING EROSION CONTROL BLANKET (ECB) INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
- 2) BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE ECB IN A 6" DEEP, 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- 3) ROLL THE BLANKET DOWN THE SLOPE. BLANKET WILL UNROLL WITH THE APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- 4) THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 6" - 8" OVERLAP DEPENDING ON BLANKET TYPE.
- 5) CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- 6) IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKET.
- 7) THE USE OF WELDED PLASTIC MATTING IS NOT PERMITTED. ALL EROSION CONTROL MATTING MUST BE BIODEGRADABLE AND DEGRADE IN 6-24 MONTHS, DEPENDING ON THEIR MAKEUP.

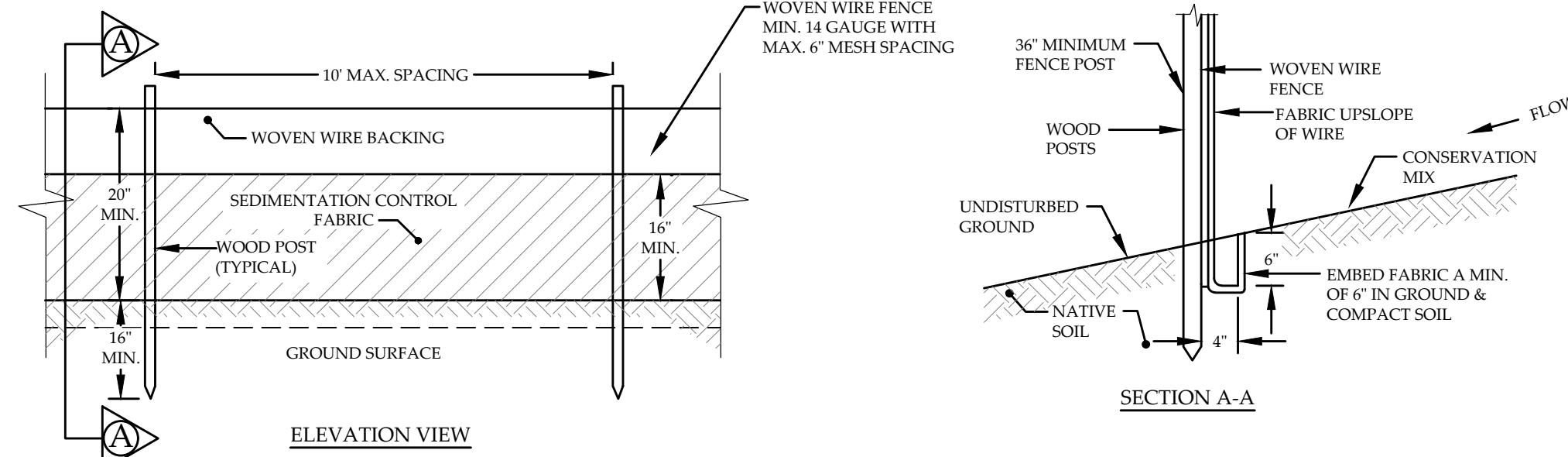
1 EROSION CONTROL BLANKET - SLOPE INSTALLATION

NOT TO SCALE

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL STATE AND LOCAL EROSION PREVENTION AND SEDIMENT CONTROL STANDARDS AND PERMIT REQUIREMENTS DURING CONSTRUCTION.
2. THE LIMIT OF DISTURBANCE SHALL BE CLEARLY DEFINED BY CONTRACTOR'S SURVEYOR PRIOR TO CLEARING. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE ESTABLISHED TO TRAP SEDIMENT ON SITE.
3. CLEARING AND GRUBBING SHALL NOT BEGIN UNTIL DISTURBANCE LIMITS AND SEDIMENT CONTROLS ARE IN PLACE. ALL ROOTS, STUMPS AND DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF DISTURBED LAND AT ANY GIVEN TIME.
4. ALL EROSION CONTROL SHALL BE PLACED AS SHOWN ON THE DRAWINGS OR AS ORDERED BY THE ENGINEER. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES UNTIL THE ENGINEER IS SATISFIED THAT PERMANENT GROUND COVER IS ESTABLISHED AND THAT FURTHER MEASURES ARE NOT REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO EMPLOY APPROPRIATE EROSION CONTROL AS SHOWN ON THESE DRAWINGS AND ANY OTHER MEASURES AS NECESSARY TO TRAP SEDIMENT ON SITE. REFER TO PERMIT MAINTENANCE AND INSPECTION REQUIREMENTS.
5. ALL AREAS OF DISTURBANCE SHALL BE PERMANENTLY OR TEMPORARILY STABILIZED AS SOON AS POSSIBLE AND WITHIN 48 HOURS OF FINAL GRADING. ALL AREAS OF DISTURBANCE SHALL BE AT LEAST TEMPORARILY STABILIZED DAILY DURING WINTER CONSTRUCTION UNLESS THE FOLLOWING EXCEPTIONS APPLY:
 - a. STABILIZATION IS NOT REQUIRED IF EARTHWORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST IN THE NEXT 24 HOURS.
 - b. STABILIZATION IS NOT REQUIRED IF THE WORK IS OCCURRING IN A SELF-CONTAINED EXCAVATION (I.E. NO OUTLET) WITH A DEPTH OF 2 FT. OR GREATER (E.G. HOUSE FOUNDATION EXCAVATION, UTILITY TRENCHES). STABILIZATION MEASURES SHALL INCLUDE MULCH AND NETTING, EROSION CONTROL MATTING, CRUSHED STONE, GRAVEL, OR PAVEMENT.
6. UNLESS SPECIFICALLY INDICATED ON THE PLANS ACCEPTABLE METHODS OF STABILIZATION INCLUDE:
 - a. STRAW OR HAY MULCHING - 2 TONS PER ACRE. ONLY STRAW MULCH IS ALLOWED FOR STABILIZATION OF FINAL GRADED AND TOPSOILED AREAS. APPROXIMATELY 2" UNIFORM THICKNESS. ONLY ALLOWED ON RELATIVELY FLAT AREAS WITH MINIMUM UPSLOPE WATERSHED. MULCH MUST BE PROPERLY SECURED WITH NETTING TO PREVENT MATERIAL BEING BLOWN AWAY BY THE WIND (WINDTHROW).
 - b. HYDROSEEDING - APPLIED TO THE MANUFACTURER'S RECOMMENDED APPLICATION RATE. CONTRACTOR SHALL PROVIDE EVIDENCE OF PROPER APPLICATION RATE. HYDROSEEDING MUST BE ACCOMPANIED BY EROSION CONTROL MATTING IN AREAS OF CONCENTRATED FLOW.
 - c. EROSION CONTROL MATTING - S75BN MATTING MUST BE APPLIED TO ALL SLOPES 3:1 (H:V) OR GREATER (UNLESS OTHERWISE INDICATED).
 - d. CRUSHED STONE OR CRUSHED GRAVEL - TYPICALLY USED FOR TEMPORARY ACCESS ROADS AND CONSTRUCTING STAGING AREAS.
7. THE CONTRACTOR SHALL USE WATER FOR DUST CONTROL.
8. THE CONTRACTOR SHALL PROVIDE INLET PROTECTION AROUND ALL CATCH BASINS (EXISTING OR NEW) THAT COLLECT CONSTRUCTION SITE STORMWATER RUN-OFF. AT A MINIMUM, MAXIMUM 4" OR INLET FILTERS SHALL BE INSTALLED OVER ALL CATCH BASIN GRATES. ADDITIONAL INLET CONTROL SHALL BE INSTALLED AND IDENTIFIED ON THE PLANS AS WARRANTED DURING CONSTRUCTION. INLET PROTECTION MUST BE MAINTAINED UNTIL FINAL STABILIZATION HAS BEEN REACHED.
9. A STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL) SHALL BE INSTALLED AND MAINTAINED AT ALL CONSTRUCTION ACCESS LOCATIONS IF CONSTRUCTION VEHICLES TRAVEL OFF THE EXISTING HARDSCAPE. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING CRUSHED STONE TO PROVIDE STABLE AREAS FOR CONSTRUCTION VEHICLE TRAFFIC, STAGING, AND STORAGE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING SUFFICIENT STONE TO PREVENT RUTTING AND SEDIMENT TRACKING.
10. ANY PAVED ROADS USED BY CONSTRUCTION VEHICLES SHALL BE SWEEP DAILY, OR AT A GREATER FREQUENCY, IF DIRT OR GRAVEL IS TRACKED FROM THE SITE. THE SWEEP DEBRIS SHALL BE IMMEDIATELY REMOVED FROM FACE OF CURB IF APPLICABLE.
11. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS OF THE FINAL STABILIZATION OR AFTER THE MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED.
12. ALL SEDIMENT REMOVED FROM SEDIMENT CONTROL PRACTICES SHALL BE PLACED IN AN APPROVED SOIL DISPOSAL AREA.
13. ALL AREAS THAT DO NOT HAVE ESTABLISHED VEGETATION BY OCTOBER 15TH MUST BE STABILIZED IN ACCORDANCE WITH THE WINTER STABILIZATION REQUIREMENTS OUTLINED IN THE LOW RISK SITE HANDBOOK.
14. AFTER PERMANENT SEEDING THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING TO ENSURE ADEQUATE VEGETATIVE GROWTH.
15. THE LOCATION OF TEMPORARY CONSTRUCTION FENCING AND TEMPORARY ACCESS SHOWN ON THE PLAN ARE FOR SCHEMATIC PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY CONSTRUCTION FENCING, TEMPORARY ROADS, STAGING AREAS, ETC., NECESSARY TO COMPLETE THE WORK.
16. CONTRACTOR SHALL SIGN ON AS THE CO-PERMITTEE FOR THE STATE OF VERMONT EROSION PREVENTION AND SEDIMENT CONTROL PERMIT FOR THE PROJECT.
17. THE EROSION AND SEDIMENT CONTROL PRACTICES SHOWN ON THESE PLANS ARE THE MINIMUM REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL EMPLOY AS MANY BEST MANAGEMENT PRACTICES AS NECESSARY TO PREVENT SOIL FROM LEAVING THE CONSTRUCTION SITE. IF EVIDENCE IS FOUND OF SEDIMENT TRACKING OR ERODED SOIL LEAVING THE CONSTRUCTION SITE, THE ENGINEER MAY DIRECT SITE CONTRACTOR TO IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES AT NO ADDITIONAL COST TO OWNER.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTION AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL PRACTICES FOR THE PROJECT. INSPECTIONS AND CORRESPONDING REPORTS SHALL BE PERFORMED, AT A MINIMUM, ONCE A WEEK AND AFTER EVERY PRECIPITATION EVENT THAT RESULTS IN A DISCHARGE FROM THE SITE.

THE PERIMETER OF THE SITE AND ALL BMPs WILL BE INSPECTED AT THE END OF EACH WORKDAY TO ENSURE THAT SEDIMENT WILL NOT LEAVE THE SITE. IF SEDIMENT HAS TRAVELED BEYOND THE SITE BOUNDARY, IT SHALL BE SWEEP UP OR OTHERWISE REMOVED AND DEPOSITED ON-SITE IN AN UPGRADE AREA TO THE END OF EACH WORKDAY.



CONSTRUCTION SPECIFICATIONS:

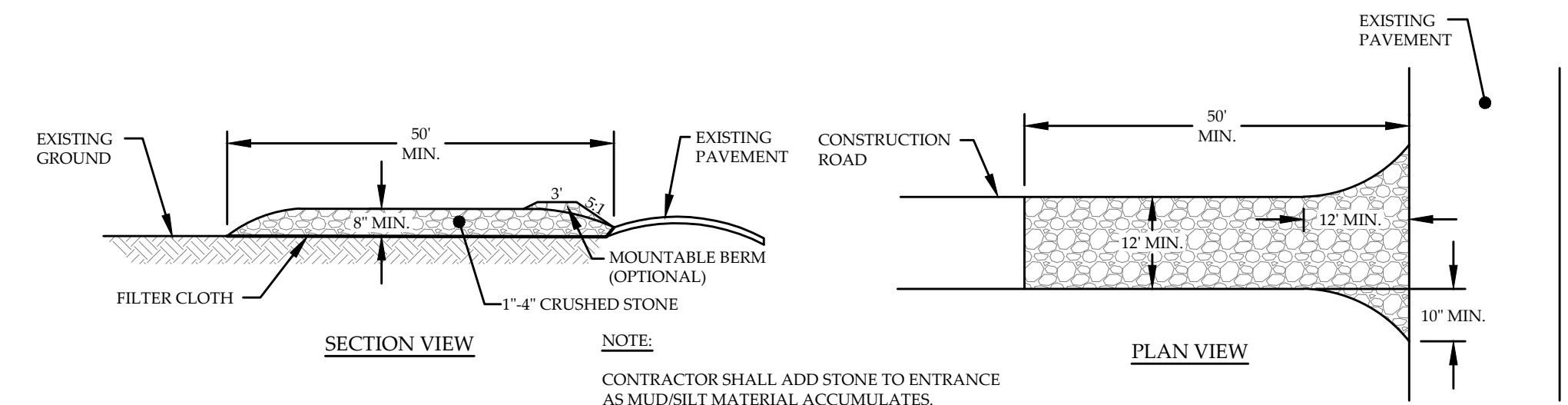
- SILT FENCING WILL BE APPLIED TO THE SITE SO THAT THERE WILL BE 100 FEET OF FENCING FOR EVERY 1/4 ACRE OF DISTURBED UPGRADE AREA.
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES, OF THE VERMONT STANDARDS AND SPECIFICATIONS FOR EROSION PREVENTION AND SEDIMENT CONTROL, PREPARED BY THE STATE OF VERMONT DEPT. OF ENVIRONMENTAL CONSERVATION, DATED 2006.
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES. WIRE FENCE REINFORCEMENT REQUIRED WITHIN 100 FT UPSLOPE OF RECEIVING WATERS.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTR X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVROFENCE, OF APPROVED EQUIVALENT.
- THE FABRIC SHALL NOT EXTEND MORE THAN 30" ABOVE THE ORIGINAL GROUND SURFACE AND WILL EXTEND TO A MINIMUM OF 12" INTO THE TRENCH. FILTER FABRIC SHALL NOT BE STAPLED INTO EXISTING TREES.
- THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED, SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDDED.

2 SILT FENCE DETAIL

NOT TO SCALE

TURF ESTABLISHMENT NOTES:

- ALL DISTURBED AREAS THAT DO NOT HAVE AN IMPERVIOUS SURFACE (PAVEMENT, SIDEWALKS, ROOFS) OR ARE NOT LANDSCAPED WITH BARK MULCH, SHALL BE STABILIZED NEW GRASS COVER. ALL SEEDING AND MULCHING FOR ESTABLISHING NEW GRASS COVER SHALL BE COMPLETE PRIOR TO COMPLETION OF PROJECT. PLACEMENT OF TOPSOIL, AND THE APPLICATION OF SEED, FERTILIZER, LIME (WHERE APPLICABLE), AND MULCH SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
1. A MINIMUM OF 4" OF CLEAN TOPSOIL SHALL BE PLACED IN ALL AREAS. PLACEMENT OF TOPSOIL SHALL NOT BE DONE WHEN THE GROUND OR TOPSOIL IS FROZEN, EXCESSIVELY WET, OR OTHERWISE IN A CONDITION DETRIMENTAL TO THE WORK. FOLLOWING PLACEMENT OF TOPSOIL, THE SURFACE SHALL BE RAKED. ALL STONES, LUMPS, ROOTS, OR OTHER OBJECTIONAL MATERIAL SHALL BE REMOVED.
 2. URBAN SEED MIXTURE SHALL BE SPREAD UNIFORMLY IN ALL AREAS AT THE SPECIFIED RATE.
 3. FERTILIZER SHALL BE APPLIED ONLY IF SPECIFICALLY REQUIRED BY THE OWNER AND AFTER PERFORMING A SOIL TEST AND BE APPLIED BASED UPON SOIL DEFICIENCIES. LIME SHALL ONLY BE APPLIED IF SPECIFICALLY REQUIRED BY THE OWNER AS NEEDED BASED UPON A SOIL PH TEST.
 4. MULCHING SHALL FOLLOW THE SEEDING OPERATION BY NOT MORE THAN 24 HOURS. MULCH SHALL BE SPREAD UNIFORMLY OVER THE AREA AT A MINIMUM RATE OF 2 TONS PER ACRE. SITE CONDITIONS MAY WARRANT THE APPLICATION OF A TACKIFIER TO HOLD THE MULCH IN PLACE. IF NECESSARY TO RETAIN THE MULCH, THE CONTRACTOR SHALL APPLY AN APPROVED TACKIFIER WITHOUT ADDITIONAL COST TO THE OWNER.
 5. ALL SLOPES STEEPER THAN 3H:1V SHALL HAVE EROSION MATTING APPLIED OVER THE SEED. ALL DITCH CENTERLINE GRADES GREATER THAN 5% OR AS SHOWN ON THE PLANS SHALL HAVE EROSION MATTING APPLIED OVER THE SEED. EROSION MATTING SHALL CONSIST OF EROSION CONTROL BLANKET WITH 100% AGRICULTURAL STRAW MATRIX STITCH BOUNDED WITH DEGRADABLE THREAD BETWEEN TWO PHOTODEGRADABLE POLYPROPYLENE NETTINGS, NORTH AMERICAN 5130 OR EQUAL.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A FULL GROWTH OF GRASS IN ALL DISTURBED AREAS TO BE RE-VEGETATED. VEGETATION GROWTH SHALL BE PERMANENT AND SUFFICIENT TO PREVENT EROSION OF THE UNDERLYING SOIL UNDER ALL CONDITIONS OF PRECIPITATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND CARING FOR SEEDS, MULCH, AND AREAS OF ESTABLISHED VEGETATION UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.



NOTES:

- 1) SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- 2) MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- 3) WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 4) PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED ACCORDING TO PERMIT REQUIREMENTS.
- 5) THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR CONSTRUCTION ENTRANCES, OF THE VERMONT STANDARDS AND SPECIFICATIONS FOR EROSION PREVENTION AND SEDIMENT CONTROL, PREPARED BY THE STATE OF VERMONT DEPT. OF ENVIRONMENTAL CONSERVATION, DATED 2020.

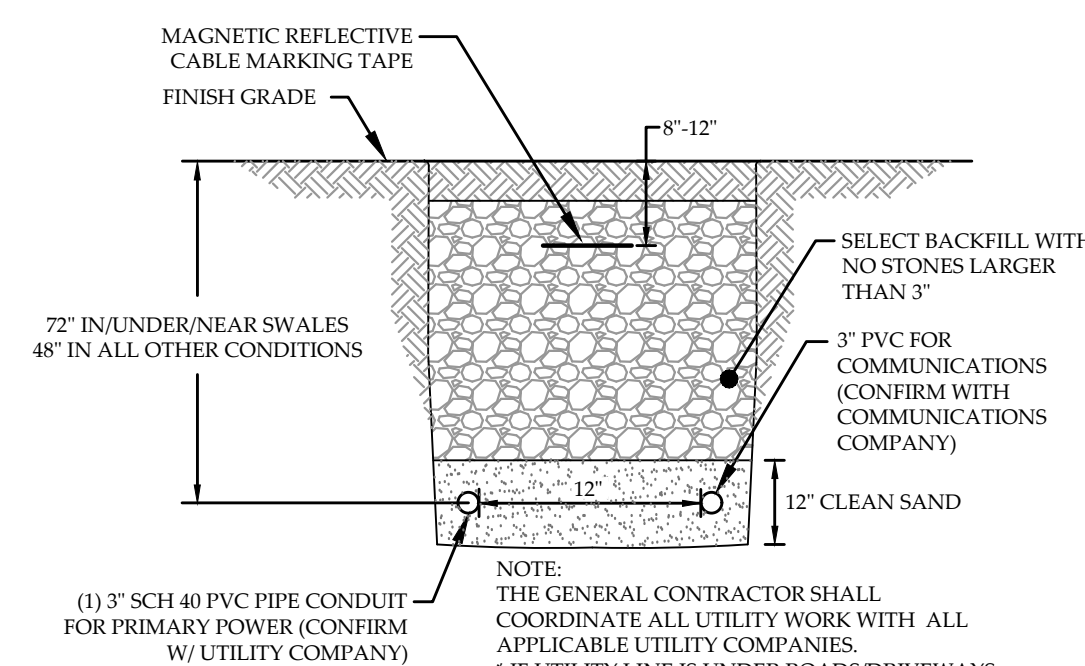
5 STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

NO EARTH DISTURBANCE SHALL BE CONDUCTED BEYOND THE PROJECT LIMITS

ALL DISTURBED AREAS WITHIN PROJECT LIMITS SHALL RECEIVE SEED AND MULCH, SEE SOIL ESTABLISHMENT NOTES

CONTRACTOR TO FOLLOW VERMONT HANDBOOK FOR LOW RISK SITE FOR EROSION PREVENTION AND SEDIMENT CONTROL MAINTAIN SITE CLEANLINESS PER SPECIFICATIONS.



6 UTILITY TRENCH

NOT TO SCALE

DETAILS
MATT HALL
5184 LAPORTE ROAD
MORRISTOWN, VERMONT

MUMLEY
ENGINEERING, INC.
46 HUTCHINS STREET
MORRISTOWN, VT 05661
WWW.MUMLEYENGINEERING.COM
COPYRIGHT © 2026 - MUMLEY ENGINEERING, INC.

PROJECT NO.....20078.2
DRAWN BY.....REB
CHECKED BY.....TRM
SCALE.....AS NOTED
DATE.....05/25/26

SHEET NO.

C-2

2 OF 2 SHEETS

Reice Branon

From: Dennis DiGregorio <captdenny14k4@comcast.net>
Sent: Thursday, May 21, 2026 6:58 PM
To: Reice Branon
Subject: Re: Fire Protection for Major Subdivision - 6 Walkers Way/Route 100 Morristown

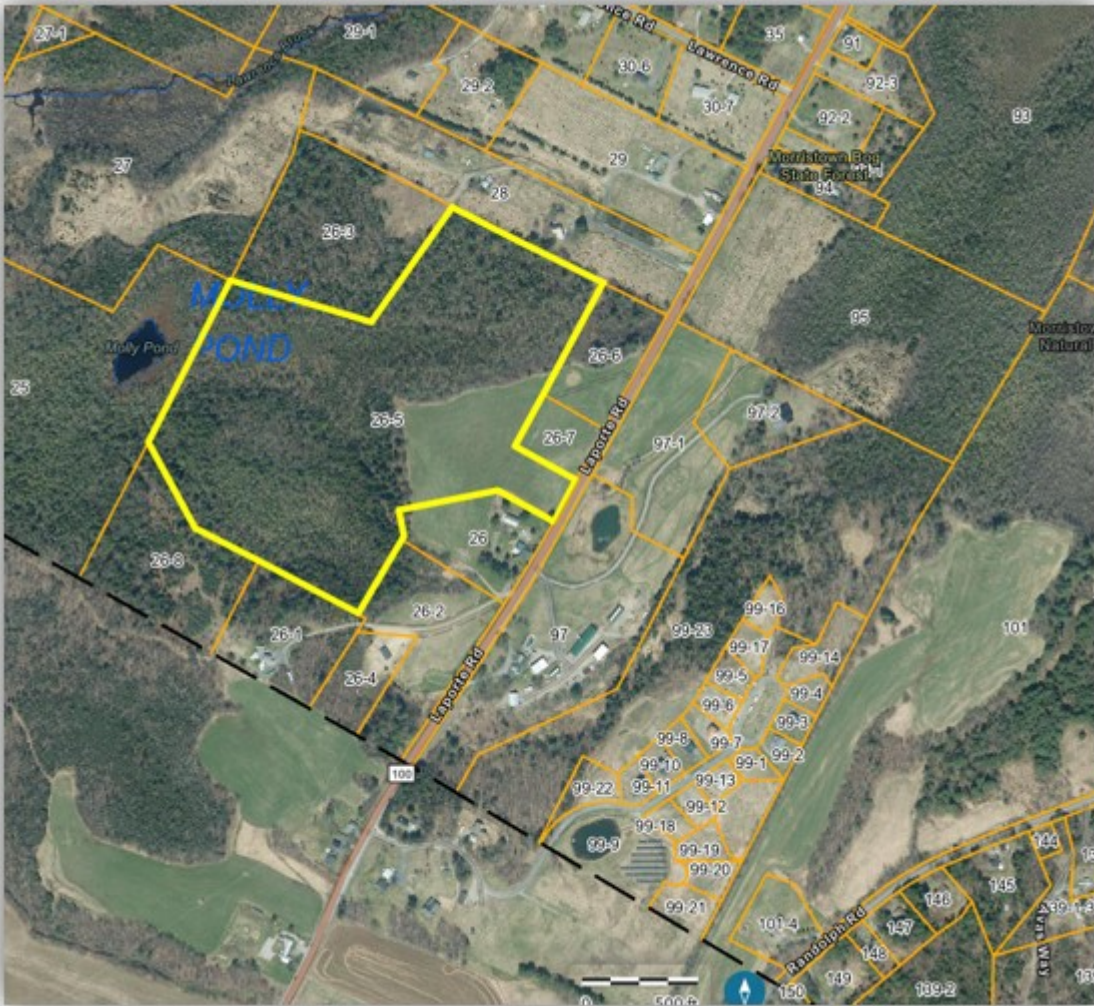
Follow Up Flag: Follow up
Flag Status: Flagged

You are right. We have nothing closer. Thank You

On 05/19/2026 3:09 PM EDT Reice Branon <reice@mumleyinc.com> wrote:

Good afternoon Denny,

I am emailing to see if you can confirm the closest fire protection devise to the property located at 6 Walkers Way in Morristown? This parcel is behind/surrounding the newly constructed A-Frame across from Todd Shonio/Stowe Home Care Maintenance. We are looking to potentially subdivide further and need to confirm if we have a fire protection source for a major subdivision. I believe the requirement is ½ mile and Elizabeth's Lane pond is the closest place I have in mind. Parcel outlined in Yellow below:



Please let me know as soon as you can,

Thank you!

Reice Branon

Reice Branon, P.E.

Project Manager I

Mumley Engineering, Inc.

46 Hutchins Street

Morrisville, VT 05661

802-851-8882

www.mumleyengineering.com



CONSERVATION EASEMENT DEED

(Open Space)

KNOW ALL PERSONS BY THESE PRESENTS, that Mathew Hall (the "Grantor"), in consideration of the sum of Ten and More Dollars paid to its full satisfaction by the TOWN OF MORRISTOWN, a Vermont municipality in the County of Lamoille and State of Vermont ("Grantee"), by these presents, does freely GIVE, GRANT, SELL, CONVEY and CONFIRM unto the said Grantee, the TOWN OF MORRISTOWN, and its successors and assigns forever, a conservation easement with respect to certain lands and premises in the Town of Morrystown, County of Lamoille and State of Vermont (the "Property") described as follows, viz:

Being a parcel of land identified as "Open Space, Parcel ID No. 16-026-05, 31.43 acres" on the plat entitled "Lot 6 Subdivision" prepared by Little River Survey Company LLC, dated _____ and recorded on _____ in Map _____ Slide _____ of the Town of Morrystown Land Records (the "Plat").

The conservation easement over the Property is conveyed subject to the Declaration of Covenants established by Grantor dated _____ and recorded in Volume _____ at Page _____ of the Town of Morrystown Land Records (the "Declaration"), which Grantor executed and recorded in connection with the development of the parcel of land identified on the Plat as "Open Space, Parcel ID No. 16-026-05, 31.43 acres" (the "Project Parcel") to satisfy requirements of the Decision of the Morrystown/Morrisville Development Review Board dated _____, (the "DRB Decision") predicate to the issuance of Morrystown Subdivision Permit No. _____.

As required by the Declaration, the Property shall be maintained as open space for the benefit of the residents and invitees of the residential parcels and for the benefit of the general public who access the Property via the adjacent Laporte Road. The Property shall be kept and maintained in good condition and in a safe, clean and sanitary manner, and shall only be used for the following purposes: establishing, maintaining, repairing and replacing walking and hiking trails; open space; recreation; conservation; the installation, maintenance, repair and replacement of stormwater treatment, detention and conveyance infrastructure serving the residential lots; the installation, maintenance, repair and replacement of sewer lines, water lines, other underground utility lines and related infrastructure serving the residential lots; and the installation, maintenance, repair and replacement of paved roadway turnarounds serving the residential lots, all as depicted on the plans approved by DRB Decision.

By its acceptance of this Conservation Easement Deed, Grantee assumes from Grantor the obligations set forth in the Declaration to keep and maintain the Property in good condition and in a safe, clean and sanitary manner, and to maintain, repair and replace the walking and hiking trails on the Property as necessary so that they are in good condition, in compliance with applicable municipal and state permit conditions, and in compliance with applicable laws and regulations, subject to reasonable wear and tear, and agrees to perform such obligations for the benefit of the residential lots.

Grantor reserves to itself and its successors and assigns the right and obligation to install, maintain, repair and replace the following infrastructure that benefits the residential lots: the stormwater treatment, detention and conveyance infrastructure; the sewer lines, water lines and other underground utility lines and related infrastructure; and the paved roadway turnarounds. Grantor further reserves to itself such easements and access rights as may be necessary or desirable to exercise its reserved installation, maintenance, repair and replacement rights, provided that Grantor agrees, for itself and its successors and assigns, that any property disturbed or affected by Grantor's exercise of the rights reserved hereunder shall be restored as nearly as reasonably practical to their condition prior to such entry at Grantor's cost and within a reasonable time.

The conservation easement over the Property is conveyed subject to (a) Town of Morristown Subdivision Permits No. _____ dated _____, and (b) all easements, rights of way, encroachments, permits, and encumbrances of record, not meaning to reinstate any claims barred by operation of the Vermont Marketable Record Title Act, 27 Y.S.A. § 601 et seq.

Reference is hereby made to the above-mentioned plan and deeds and the records thereof, and the references therein made all in further aid of this description.

TO HAVE AND TO HOLD the conservation easement over the Property, with all the privileges and appurtenances thereto, to Grantee, TOWN OF MORRISTOWN, and its successors and assigns, to their own use and behoof forever; and Grantor, Virginia Mainus, for itself and its successors and assigns, does covenant with the said Grantee and its successors and assigns, that until the ensembling of these presents, Grantor is the sole owner of the Property, and has good right and title to convey the conservation easement over the Property in the manner aforesaid, that the Property is FREE FROM EVERY ENCUMBRANCE, except as aforementioned; and it hereby engages to WARRANT and DEFEND the same against all lawful claims whatever, except as aforementioned.

IN WITNESS WHEREOF, the undersigned do hereby execute this Conservation Easement Deed as of the _____ day of _____, 20_____.

By: _____

Matthew Hall

STATE OF VERMONT COUNTY OF LAMOILLE, SS.

This record was acknowledged before me on _____, by Matthew Hall.

Before me, _____

Notary Public State of Vermont

My commission expires:

My credential number:

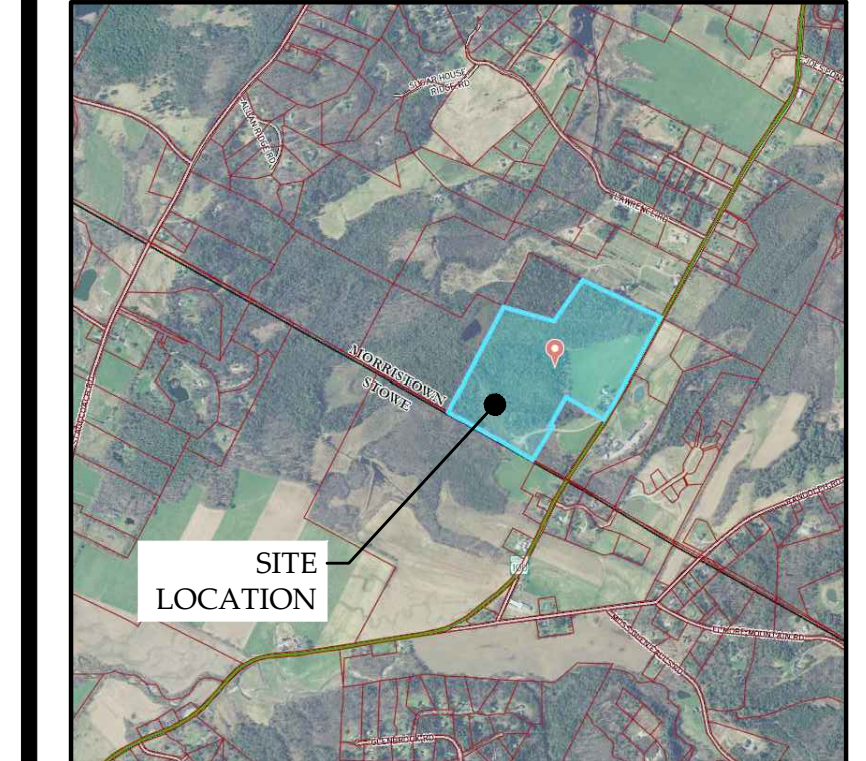
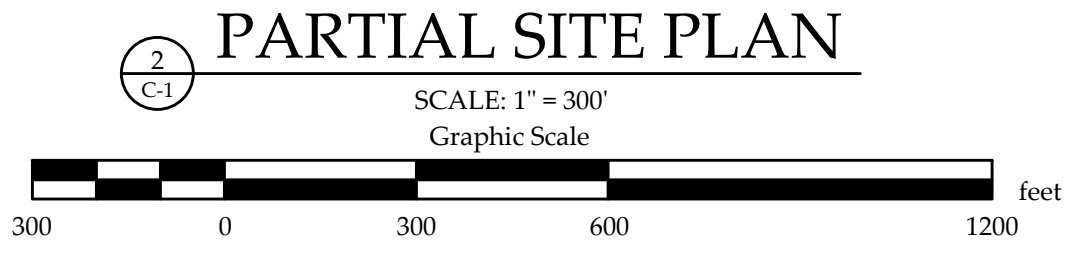
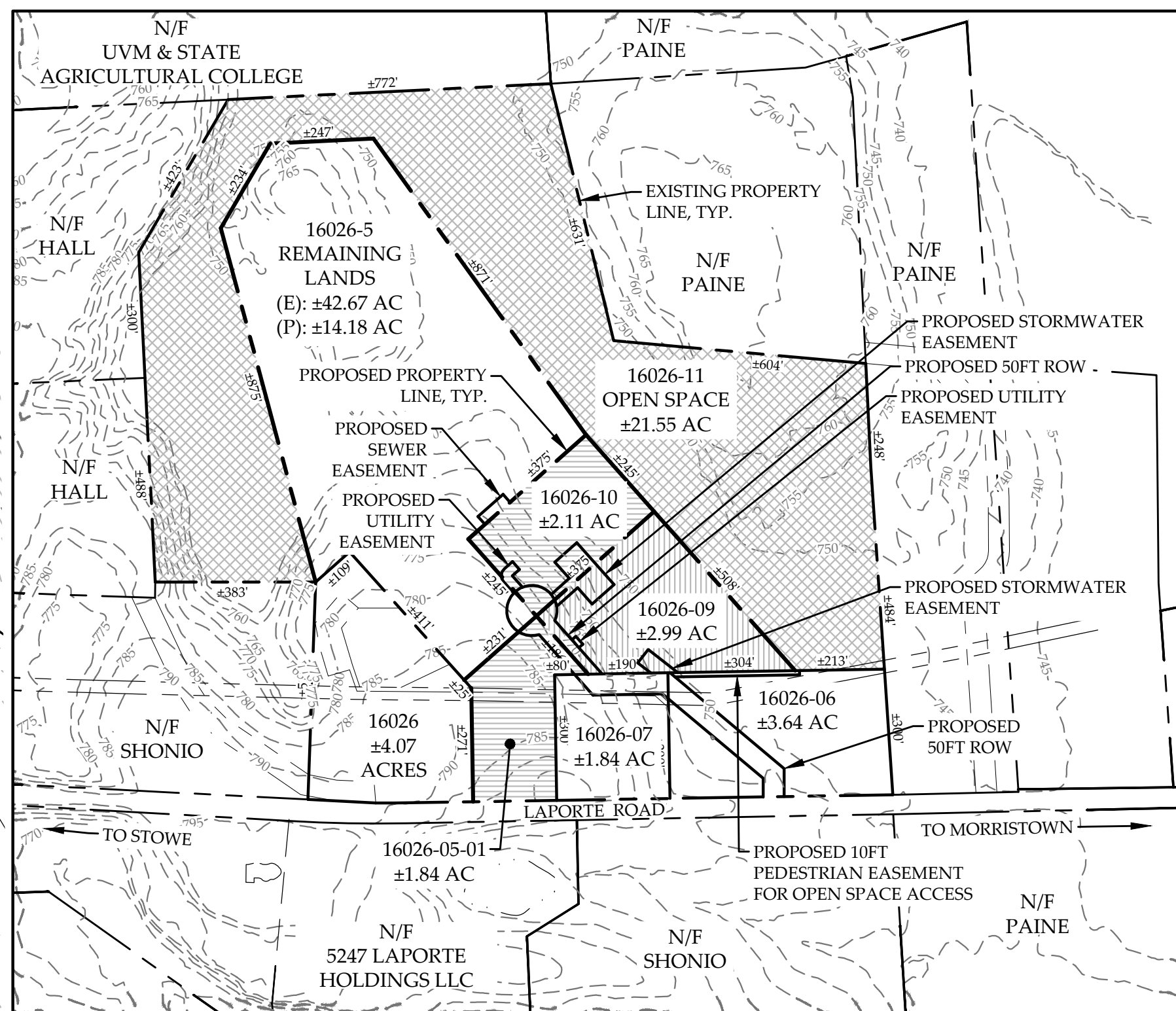
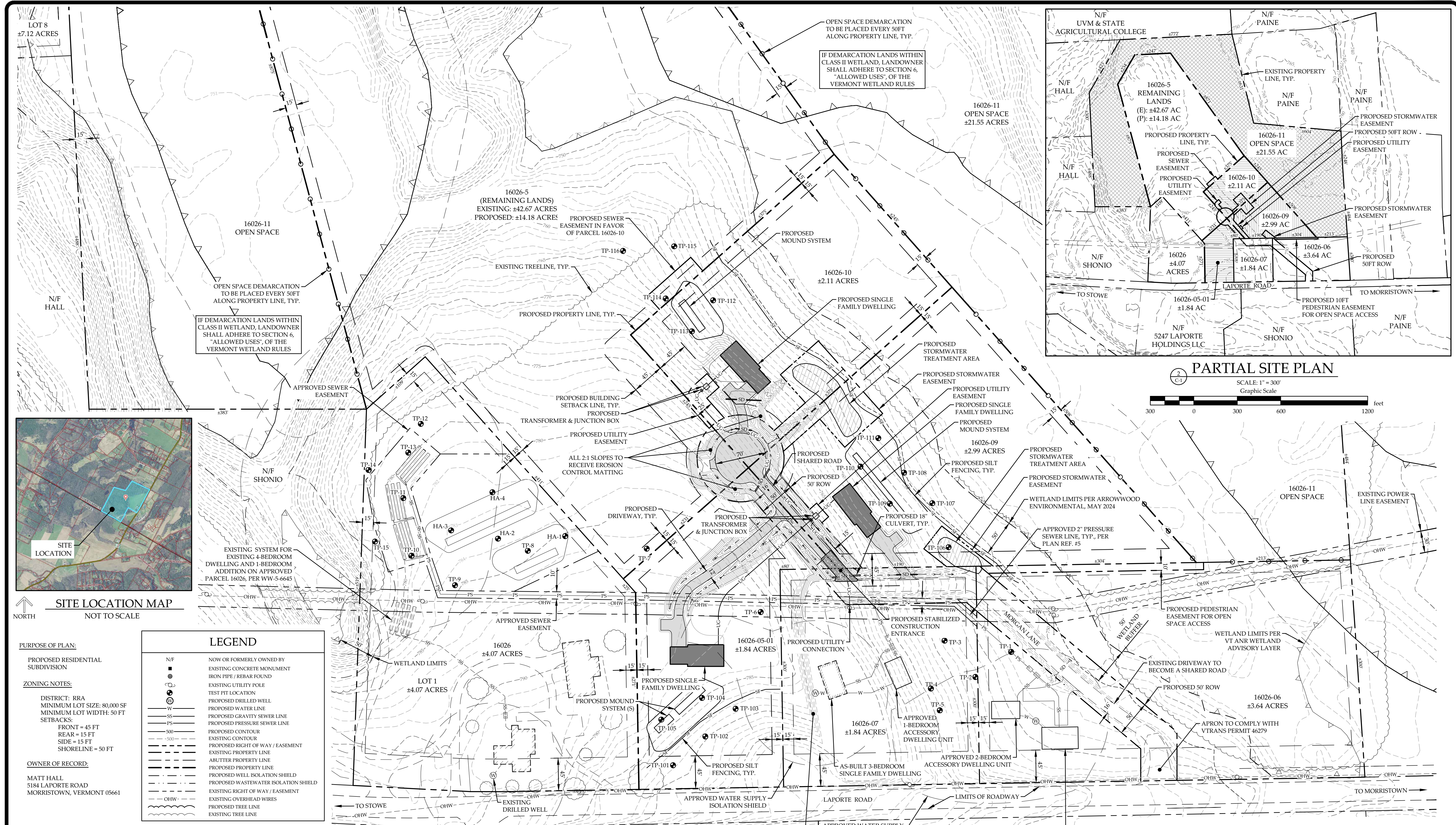
ACCEPTED AND AGREED:

Town of Morristown

By:

Name:

Title:



SITE LOCATION MAP
NOT TO SCALE

PURPOSE OF PLAN:
PROPOSED RESIDENTIAL SUBDIVISION

ZONING NOTES:
DISTRICT: RRA
MINIMUM LOT SIZE: 80,000 SF
MINIMUM LOT WIDTH: 50 FT
SETBACKS:
FRONT = 45 FT
REAR = 15 FT
SIDE = 15 FT
SHORELINE = 50 FT

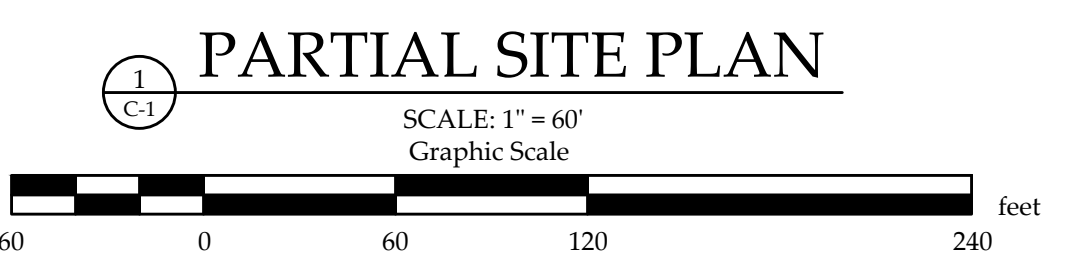
OWNER OF RECORD:
MATT HALL
5184 LAPORTE ROAD
MORRISTOWN, VERMONT 05661

LEGEND

N/F	NOW OR FORMERLY OWNED BY
●	EXISTING CONCRETE MONUMENT
○	IRON PIPE / REBAR FOUND
○	EXISTING UTILITY POLE
○	TEST PIT LOCATION
○	PROPOSED DRILLED WELL
—	PROPOSED WATER LINE
—	PROPOSED GRAVITY SEWER LINE
—	PROPOSED PRESSURE SEWER LINE
—	PROPOSED CONTOUR
—	EXISTING CONTOUR
—	PROPOSED RIGHT OF WAY / EASEMENT
—	EXISTING PROPERTY LINE
—	ABUTTER PROPERTY LINE
—	PROPOSED PROPERTY LINE
—	PROPOSED WELL ISOLATION SHIELD
—	PROPOSED WASTEWATER ISOLATION SHIELD
—	EXISTING RIGHT OF WAY / EASEMENT
—	EXISTING OVERHEAD WIRES
—	PROPOSED TREE LINE
—	EXISTING TREE LINE

- NOTES:**
- THIS DRAWING IS NOT A BOUNDARY SURVEY PLAT. BOUNDARY LINE INFORMATION SHOWN IS BASED ON PLAN REFERENCE #2. THE PROPERTY LINES, EASEMENTS AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THIS DRAWING ARE FOR ILLUSTRATION PURPOSES ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN V.S.A. TITLE 27 SECTION 1403 AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION. APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - THIS TOPOGRAPHIC SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" BEFORE COMMENCING ANY WORK AND SHALL PRESERVE ALL EXISTING UTILITIES NOT SPECIFIED TO BE REMOVED OR ABANDONED AS PART OF THE PROJECT.

- PLAN REFERENCES:**
- TOPOGRAPHIC, ABUTTER PARCELS, AND ORTHOGRAPHIC INFORMATION TAKEN ELECTRONICALLY FROM THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION ON 10-22-20.
 - PARCEL LINES TAKEN FROM PLAT TITLED "SUBDIVISION, LOTS 8-11, ON LAND OF MATTHEW K. HALL, PREPARED BY LITTLE RIVER SURVEY CO. DATED JUNE OF 2026.
 - SITE INFORMATION TAKEN FROM REPLACEMENT SEPTIC SYSTEM SITE & DETAILS PLANS BY GRENIER ENGINEERING, PC, DATED 07/14/2014. SEE WASTEWATER PERMIT WW-5-6645.
 - WETLANDS DELINEATION FROM ARROWWOOD ENVIRONMENTAL, MAY 2024.
 - SITE INFORMATION TAKEN FROM SEPTIC SYSTEM SITE & DETAIL PLANS BY MUMLEY ENGINEERING, INC., DATED 11/13/23, LAST REVISED 12-01-23. SEE WASTEWATER PERMIT WW-5-6645-3.



REVISION: 07/06/26 - REVISIONS PER LOCAL STAFF REVIEW COMMENTS

SITE PLAN
MATT HALL
5184 LAPORTE ROAD
MORRISTOWN, VERMONT

<p>MUMLEY ENGINEERING, INC. 46 HUTCHINS STREET MORRISVILLE, VT 05661 WWW.MUMLEYENGINEERING.COM COPYRIGHT © 2026 - MUMLEY ENGINEERING, INC.</p>	PROJECT NO.20078.5	SHEET NO.
	DRAWN BY...WEH/RCB/REB	<p align="center">C-1</p> <p>1 OF 2 SHEETS</p>
	CHECKED BY.....TRM	
	SCALE.....AS NOTED	
DATE.....05/25/26		



July 8th, 2026 DRB Meeting Staff Notes

APPLICATION: 2026-47

APPLICANT: Tyler Mumley

REQUESTED ACTION: Major Subdivision Review

LOCATION: 5184 Laporte Road

EXISTING ZONING: Rural Residential Agriculture

PROJECT DESCRIPTION: 2026-47- Major Subdivision review application, submitted by Mumley Engineering on behalf of Matt Hall. The Applicants are seeking major subdivision approval for a 5-lot major subdivision. The lots are as follows: Lot 16026-05-01, 1.84 acres, Lot 16026-09, 2.99 acres, Lot 16026-10, 2.11 acres, Lot 16026-11, 8.64 acres and Lot 16026-5, 27.09 acres. This project will be reviewed under the 2023 Zoning Bylaws with emphasis on the following Sections: 510, 750, 760, 770, and Article VIII.

PARCEL HISTORY:

1. Subdivision Approval, one lot subdivision, 2024-114, 07/09/24
2. Subdivision Approval, one lot subdivision, 2024-033, 04/09/24
3. Subdivision Approval, one lot subdivision, 2023-139, 12/07/23
4. Subdivision Approval, one lot subdivision, 2023-121, 10/24/23

LIST OF APPLICANT SUBMISSIONS:

- A. Application 5/25/26
- B. Narrative 5/26/26
- C. VTRANS 1111 3/28/24
- D. Hall Declaration of Covenants 5/26/26
- E. Site Plan Part 1 5/26/26
- F. Site Plan Part 2 5/26/26
- G. Fire Chief Email 5/21/26
- H. Open Space Easement 5/26/26
- I. Updated Site plan 7/6/26

PROCEDURAL INFORMATION:

1. Agenda placed in News and Citizen 6/1/2026
2. Notice placed on the town website and at three locations in town on 6/8/2026
3. Abutters notified on 6/8/2026



4. Notice sent to Applicant 6/8/2026
5. Application continued to 7/8/26 on 6/24/26

STAFF COMMENTS (Comments In Bold):

1. 2026-47- Major Subdivision review application, submitted by Mumley Engineering on behalf of Matt Hall. The Applicants are seeking major subdivision approval for a 5-lot major subdivision. The lots are as follows: Lot 16026-05-01, 1.84 acres, Lot 16026-09, 2.99 acres, Lot 16026-10, 2.11 acres, Lot 16026-11, 8.64 acres and Lot 16026-5, 27.09 acres. This project will be reviewed under the 2023 Zoning Bylaws with emphasis on the following Sections: 510, 750, 760, 770, and Article VIII.
2. The project is located in the Rural Residential Agriculture Zoning District (RRA).
3. The parent parcel 16026-5 is 42.67 acres.
4. Section 204.5b notes that the minimum lot size for the RRA district is 80,000 square feet or 1.8 acres.
5. The Applicants' materials note that all the proposed lots meet the minimum lot size requirements for the RRA.
6. Section 710.2 of The Bylaws notes that any subdivision creating two or more lots is considered a major subdivision and is subject to the Planned Unit Development regulations noted in Section 510 of The Bylaws.
7. Section 510.5.b notes that the minimum lot size for a PUD is reduced by 50% provided that 50% of the developable property is conserved.
8. The Applicants' lots all meet the current minimum lot size for the RRA except for lot 16026-05-01 which is 1.84 acres which is less than the required 1.89 acres/80,000 sqft lot area but it complies with 50% lot size reduction.
9. Section 510.6a notes that a minimum of 50% of the proposed development area shall be permanently protected as open space on a separate lot.
10. The Applicants' plan set notes that lot 16026-11 is dedicated open space and is 8.64 acres.
11. When adding up lots 16026-05-01, 16026-10, 16026-09, the total lot area is 6.94 acres.
12. Taking the total lot area of 16026-05-01, 16026-10, 16026-09, and 16026-11, it comes to 15.58 acres.
13. The Applicants' narrative argues that lot 16026-11, which is 8.64 acres, is over 50% of the proposed development area and therefore complies with Section 510.6a.
14. **Staff disagrees with the Applicants' assessment that the project meets the 50% conservation requirement noted in Section 510.6a for the following reasons:**
 - a. **The Applicants' narrative notes that the total project acres is 42.67 acres.**
 - b. **The Applicants did not include lot 16026-5, which would be reduced to 27.09 acres once it is subdivided, in their calculation of development area.**
 - c. **Section 510.6a notes the following:**
 - i. **A minimum of 50% of the proposed development area shall be permanently protected as open space and shown on the Final Plat and**



said open space shall be placed on a separate parcel from the building lots.

- d. **Section 900 of the bylaws notes that the definition of development includes “The division of a parcel into two or more parcels”.**
 - e. **Therefore the development area noted in Section 510.6a would include all 42.67 acres of the original lot.**
 - f. **To comply with the mandatory 50% conserved requirement noted in Section 510.6a, the Applicants would need to conserve a minimum of 21 acres.**
 - g. **The Applicants' open space lot is only 8.64 acres.**
 - h. **Therefore the Applicants need to conserve an additional 12.67 acres in order to comply with Section 510.6a**
15. **The Board should consider whether to continue the application until the subdivision has been reconfigured to meet the 50% conserved requirement or require the applicant to submit an updated plat to the Zoning Administrator prior to recording the final plat.**
 16. Section 510.6.b notes that half of the lots need to abut the open space lot.
 17. The Applicants site plan shows that half of the lots, 16026-10, 16026-09 and 16026-5 abut the open space lot.
 18. Section 510.6.k notes that ownership of the open space has to be dedicated to the town, the town’s conservation commission or a homeowner’s association (HOA).
 19. The Applicants have provided draft declaration of covenants and conservation easements that outline how the open space is to be maintained.
 20. Section 510.6.l notes that the town shall be granted a maintenance easement to ensure perpetual maintenance of the open space.
 21. The applicants have supplied a draft conservation easement for the town.
 22. Section 510.6.m notes the dedicated open space needs to be clearly delineated on the ground with permanent markings.
 23. The Applicant's narrative does not note how the open space will be delineated on the site plan **(The Applicants need to note how the open space will be delineated on the ground.)**
 24. Section 510.6.n notes that walkways, bike paths and trails shall be provided where feasible to link the lots to the proposed open space.
 25. The Applicants note in their narrative that the proposed roadway and private driveways can link all of the lots to the proposed open space. **(The Board will need to consider whether the applicant should provide additional trails to the open space other than the proposed roadway.)**
 26. The Applicants' plat will be subject to the plat requirements noted in Section 770 of The Bylaws.
 27. The project complies with the plat requirements noted in Section 770 a-s.



28. The Applicants have not provided a location of a water supply available for firefighting as noted in Section 770.t. However, the applicants have provided a letter from the chief of the Morrystown Fire Department noting that the location of the nearest water source for firefighting is at Elizabeth's Lane which is half a mile away. **(The letter provided does not explicitly say that this source of water is sufficient to provide service to the proposed subdivision. The Applicants should provide additional documentation noting that the water source is sufficient to protect this subdivision).**
29. This project is subject to the Subdivision General Requirements & Design Standards noted in Article VIII of The Bylaws.
30. Section 800 notes all roads shall be built according to the regulations found in the Morrystown Road Policy.
31. The project is serviced by previously approved Morgan Lane.
32. The project is subject to the Subdivision standards noted in Section 810 of the Bylaws.
33. Based on the Applicants' submittals, the project complies with Section 810 of The Bylaws. **(The Project being proposed is suitable for building and is outside of any wetland or wetland setback and does not contain rare or endangered species or deer wintering areas. The site plan notes that the road is laid out in such a way as to minimize the amount of road length needed. It also complies with the town plan as conservation subdivision is encouraged as it results in permanently conserved land and clusters development in a smaller area despite the fact that enough land is not presently conserved).**
34. The project is subject to the street regulations noted in Section 820 of the Bylaws.
35. The Applicants submittals demonstrate compliance with the Standards noted in Section 820 of the bylaws as the road has been previously approved.
36. The dead-end road terminates in a 70-foot cul-de-sac as required per Section 820.4 of The Bylaws.
37. The project is subject to the water and wastewater regulations noted in Section 830 of the bylaws.
38. The Applicants have not provided wastewater permits for all the lots. **(Staff recommends that the DRB impose a condition on an approval that wastewater permits are required prior to the issuance of a zoning permit as allowed by Section 830.)**
39. The project is not subject to the sidewalk regulations noted in Section 835 as it is located in the RRA zoning district which does not require sidewalks as noted in the Morrystown Sidewalk Policy.
40. The project is subject to the Utility regulations noted in Section 840 of the Bylaws.
41. Section 840.1 notes that utility easements are required to be shown. **(The Applicants site plan shows utility easements.)**
42. Section 840.2 notes that all subdivisions require provisions for firefighting, stormwater management and electrical power.



43. Section 840.7 notes that the applicant shall coordinate the design of the electrical utilities with Morrisville Water and Light.
44. The Applicants have coordinated the design of the electrical utilities with Morrisville Water and Light as noted in their narrative.
45. The Applicants' project is subject to the drainage improvements for major subdivisions noted in Section 850 of The Bylaws.
46. The Applicants have submitted an erosion and sedimentation control plan noted in their site plan.
47. The Applicants' project is subject to the site preservation standards noted in Section 860 of The Bylaws.
48. The Applicants' site plan shows silt fencing and stormwater management systems. Submittals E & F provide plans for erosion and sediment control as required by Sections 860.1 and 860.2.
49. The Applicants have not provided additional screening as noted in Section 860.3; however, there are a number of trees on the southern boundary of the project.
50. The applicants are required to provide copies of any community agreements required to maintain shared infrastructure and open space.
51. The Applicants have provided draft copies of these agreements.

UPDATE 7/6/26:

1. The Applicants have provided an updated site plan based on staff feedback that shows 50% of the developable acres as conserved. The new lot sizes are as follows:
 - a. Lot 16026-05-01, 1.84 acres,
 - b. Lot 16026-09, 2.99 acres,
 - c. Lot 16026-10, 2.11 acres,
 - d. Lot 16026-11, 21.55 acres
 - e. Lot 16026-5, 14.18 acres

ITEMS FOR DRB CONSIDERATION:

1. Should the applicants provide a plan to delineate the open space on the ground as noted in Section 510.6.m of The Bylaws?
2. Should the applicants be required to provide additional trails linking all the lots to the proposed open space as noted in Section 510.6.n of The Bylaws?
3. Should the Applicants be required to install a dry hydrant on the property as required by Section 840.8 of The Bylaws?
4. Plan to delineate the open spaces noted in Section 510.6.m.

RECOMMENDATIONS TO THE DRB:

1. Approve the application provided the applicants supply any outstanding information the board requires. 505440024530



2. Wastewater permits shall be required prior to the issuance of any zoning permit.

**TOWN OF MORRISTOWN
CONDITIONAL USE APPLICATION
N A MANOSH INC**

2237 VERMONT ROUTE 15 EAST

PROJECT NARRATIVE

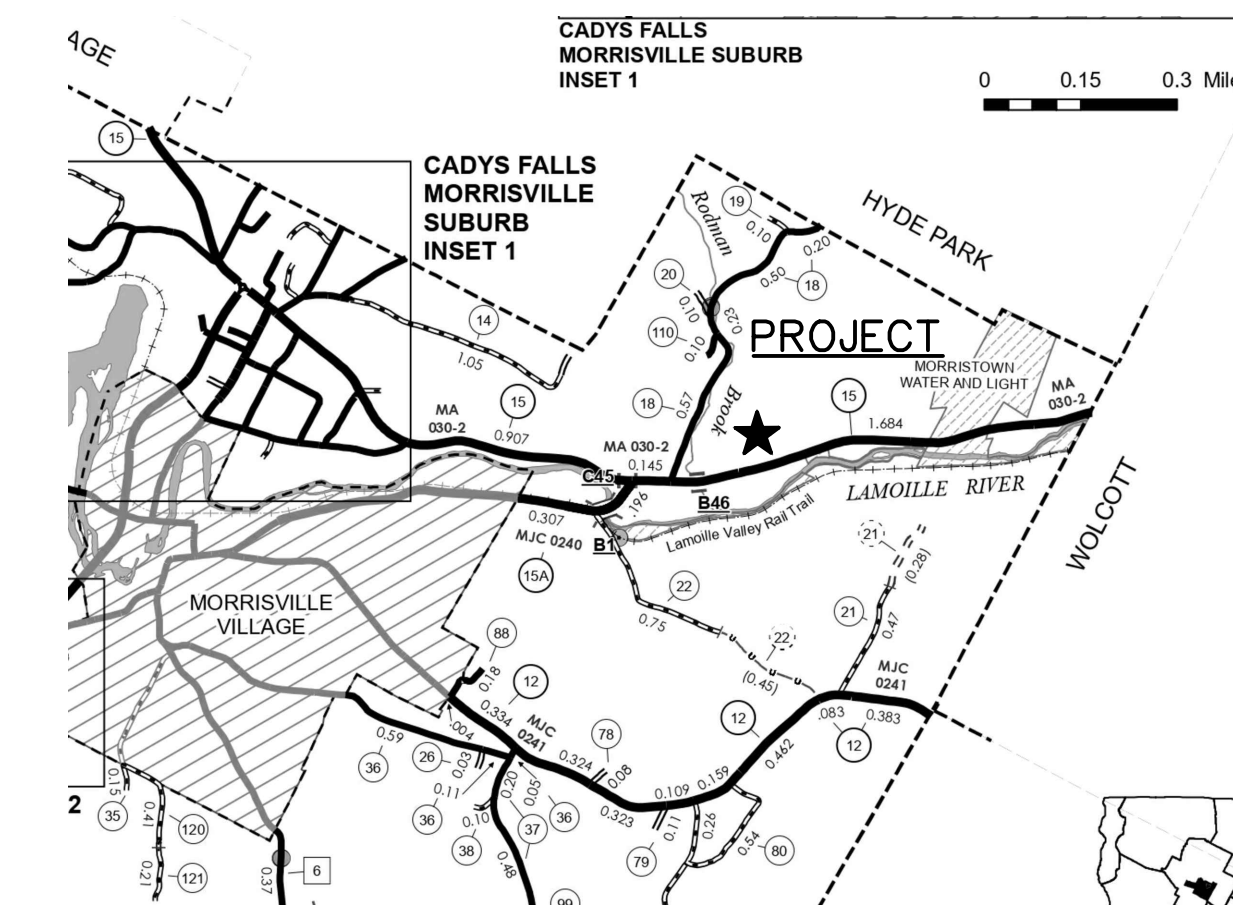
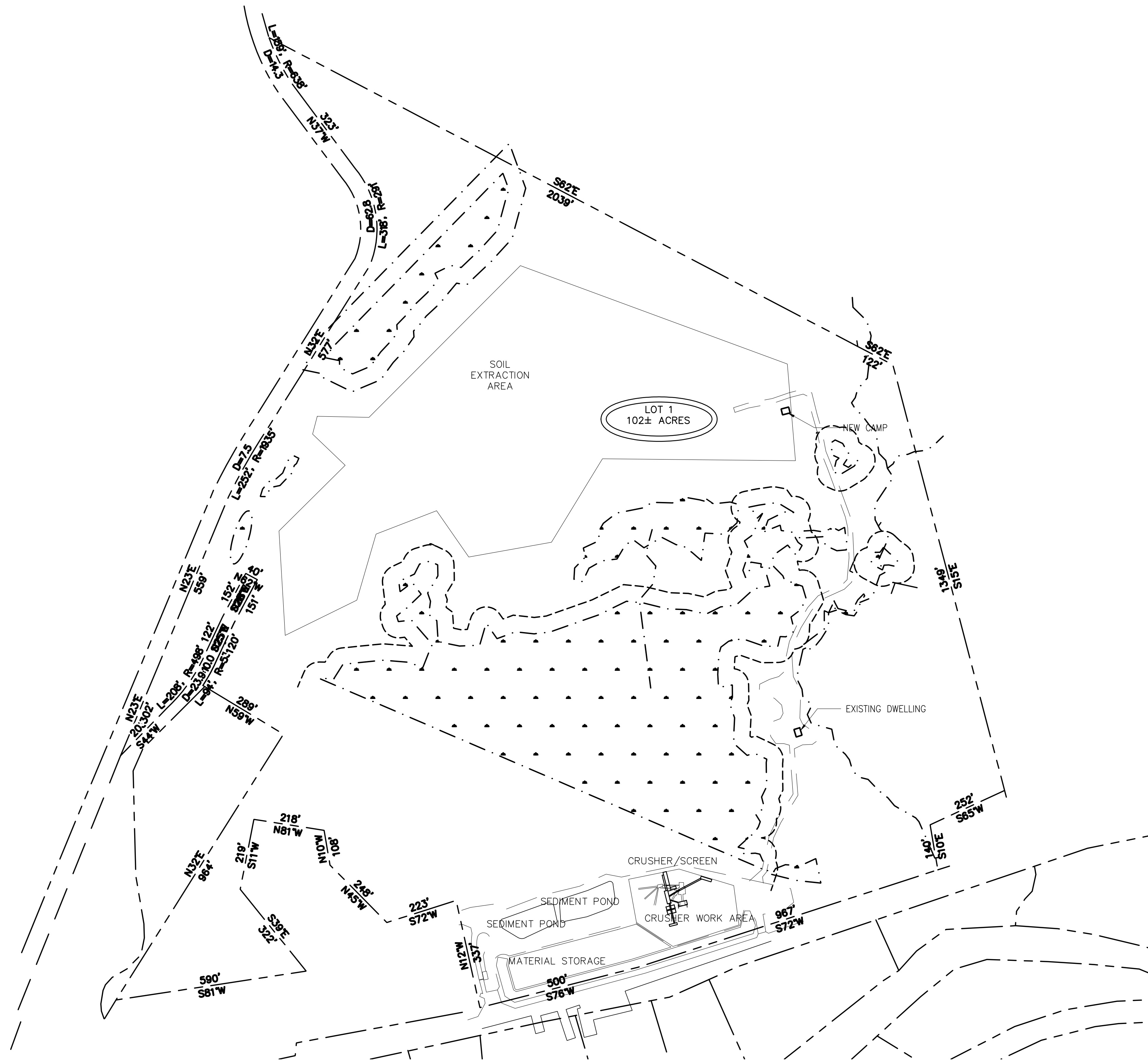
This project has two elements; one is to develop a soil extraction pit (sand and gravel) and the other is to modify the existing construction aggregate facility to eliminate the rock crusher and replace it with an asphalt plant. The existing and proposed operations are specifically allowed in the special zoning district within RRA as Special Industry (ref. Zoning Regulation ss 485). The change of use and new development require Conditional Use Determination under Morrystown's Zoning Regulations.

The project includes replacement of the crusher with an asphalt plant within the operational footprint of the existing construction aggregate plant.

The soil extraction area is in the northern area of the site within an approximate 19 acre area. The extraction volume will total approximately 3,000,000 cubic yards with a maximum depth of approximately 100 feet.

New improvements are generally outside of wetland and regulated wetland buffer areas, with minimal impacts in buffer areas.

The project will require ACT 250, VTDEC Air Pollution Permit, Wetland Permit, and Stormwater Multi-Sector General Permit.



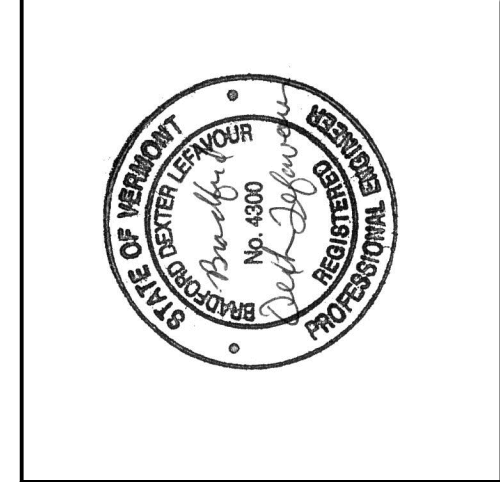
LOCATION MAP

LEGEND

	STA-1	TRAVERSE STATION
	BM-1	BENCHMARK
	TP-1	TEST PIT
	PT-1	PERC TEST
	UP-1	UTILITY POLE
		SEWER MANHOLE
		CATCH BASIN
		WATER SHUT OFF
	IPF	IRON PIPE FOUND
	IRF	IRON ROD FOUND
	IRS	IRON ROD SET
		EXISTING DRILLED WELL
		PROPOSED DRILLED WELL
		TREE LINE
		STONE WALL
		FENCE
	W	WATER LINE
	S	SEWER LINE
		PROPERTY LINE
		RIGHT-OF-WAY
		EASEMENT
		EDGE OF PAVEMENT
	100	FIVE FOOT CONTOUR
		ONE FOOT CONTOUR

REVISIONS

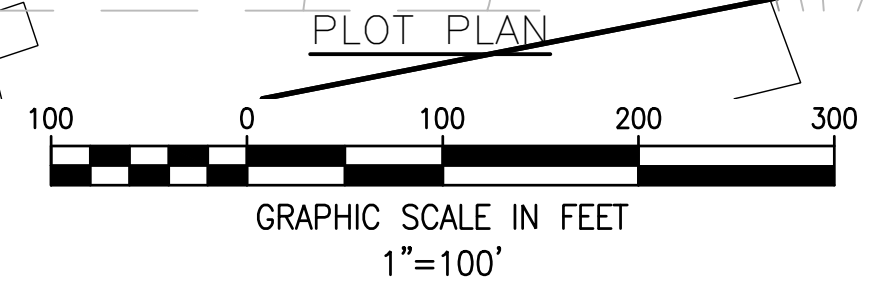
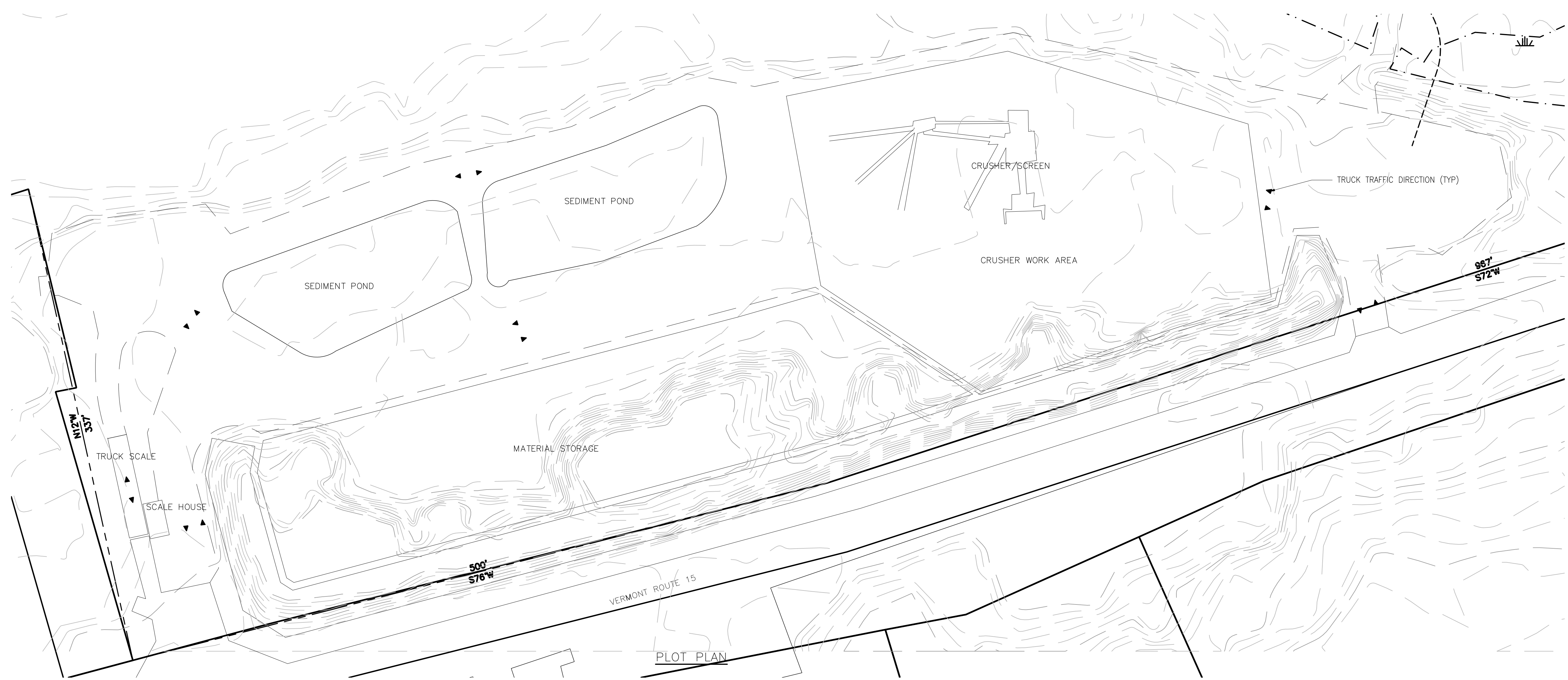
New England Consulting Engineers
 120 NORTHGATE PLAZA
 MORRISVILLE, VERMONT 05680
 TEL: (802) 888-5722



N A MANOSH INC
 2237 VERMONT ROUTE 15 EAST
 MORRISTOWN, VERMONT
 SOILS FACILITY IMPROVEMENTS
 CIVIL
 PLOT PLAN

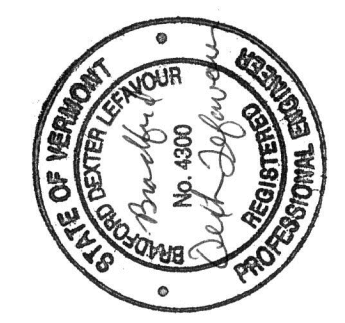
PROJECT NO.	1130
DESIGNED BY:	BDL
DRAWN BY:	BDL
DATE:	MAY 2026
SCALE:	AS NOTED

C-1
 1 OF 8



REVISIONS

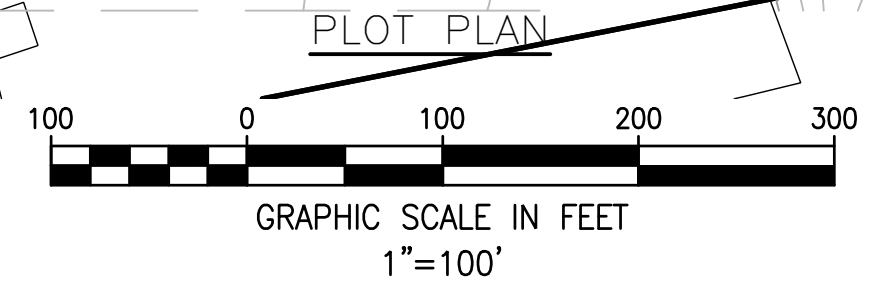
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 120 NORTHGATE PLAZA
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N. A. MANOSH, INC.
 2237 VERMONT ROUTE 15 EAST
 MORRISTOWN, VERMONT
 SOILS FACILITY IMPROVEMENTS
 AGGREGATE PLANT
 EXISTING SITE PLAN

PROJECT NO. 1130
 DESIGNED BY: BDL
 DRAWN BY: BDL
 DATE: MAY 2026
 SCALE: AS NOTED

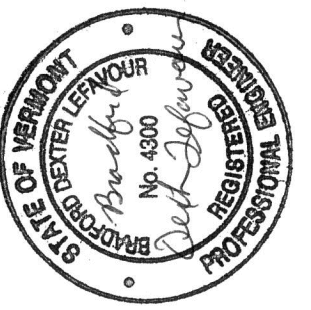
C-2
 2 OF 8



REVISIONS

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Consulting Engineers**

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TEL: (802) 888-5722



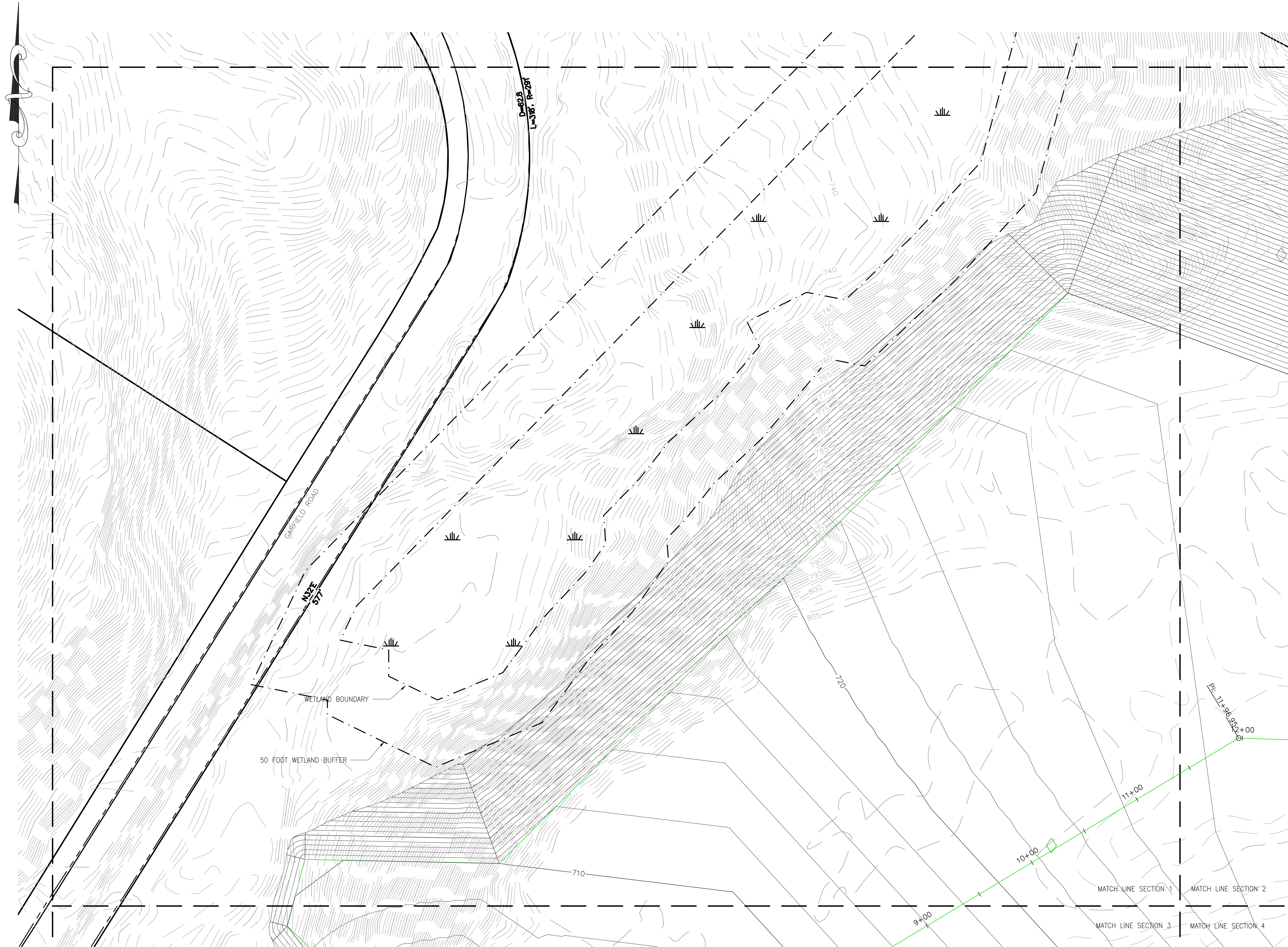
N. A. MANOSH, INC.
2237 VERMONT ROUTE 15 EAST
MORRISTOWN, VERMONT

SOILS FACILITY IMPROVEMENTS
AGGREGATE PLANT
PROPOSED SITE PLAN

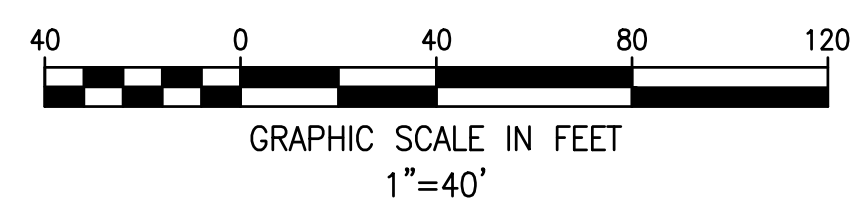
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DRAWN BY: BDL
DATE: MAY 2026
SCALE: AS NOTED

C-3

3 OF 8



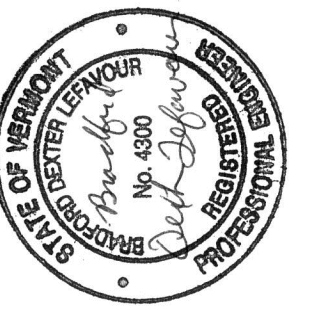
PLAN - GRADING PLAN SECTION 1



REVISIONS

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TEL: (802) 888-5722

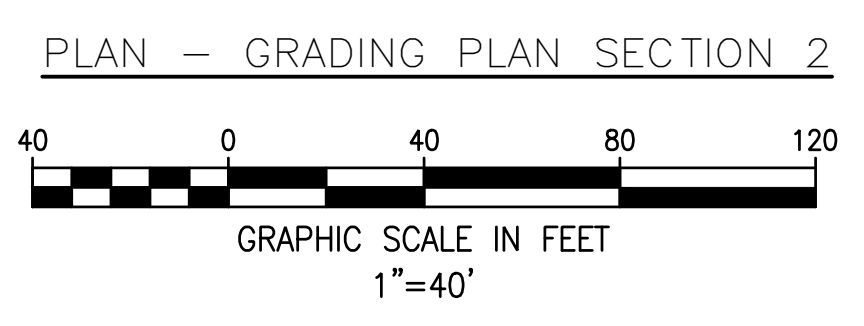
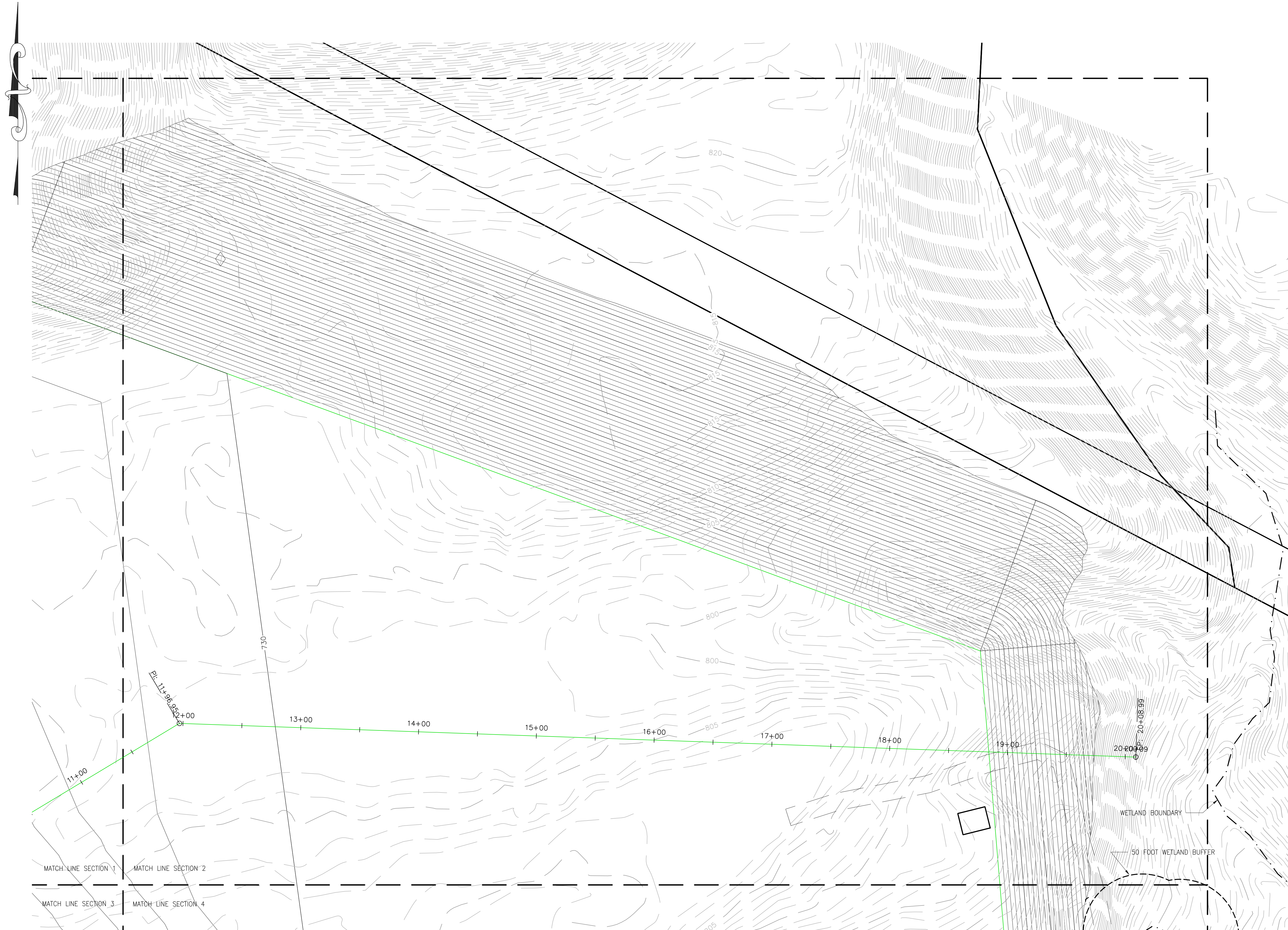


N. A. MANOSH, INC.
2237 VERMONT ROUTE 15 EAST
MORRISTOWN, VERMONT
SOILS FACILITY IMPROVEMENTS
SOIL EXTRACTION AREA
GRADING PLAN 1

PROJECT NO. 1130
DESIGNED BY: BDL
DRAWN BY: BDL
DATE: MAY 2026
SCALE: AS NOTED

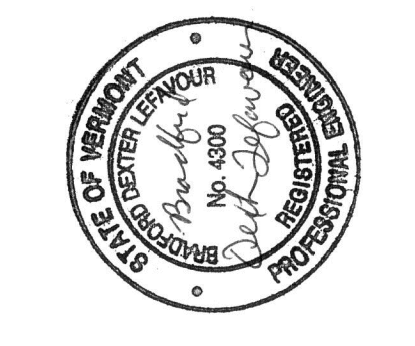
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REVISIONS

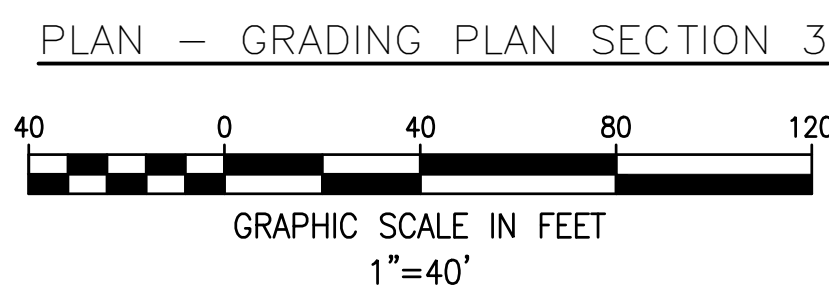
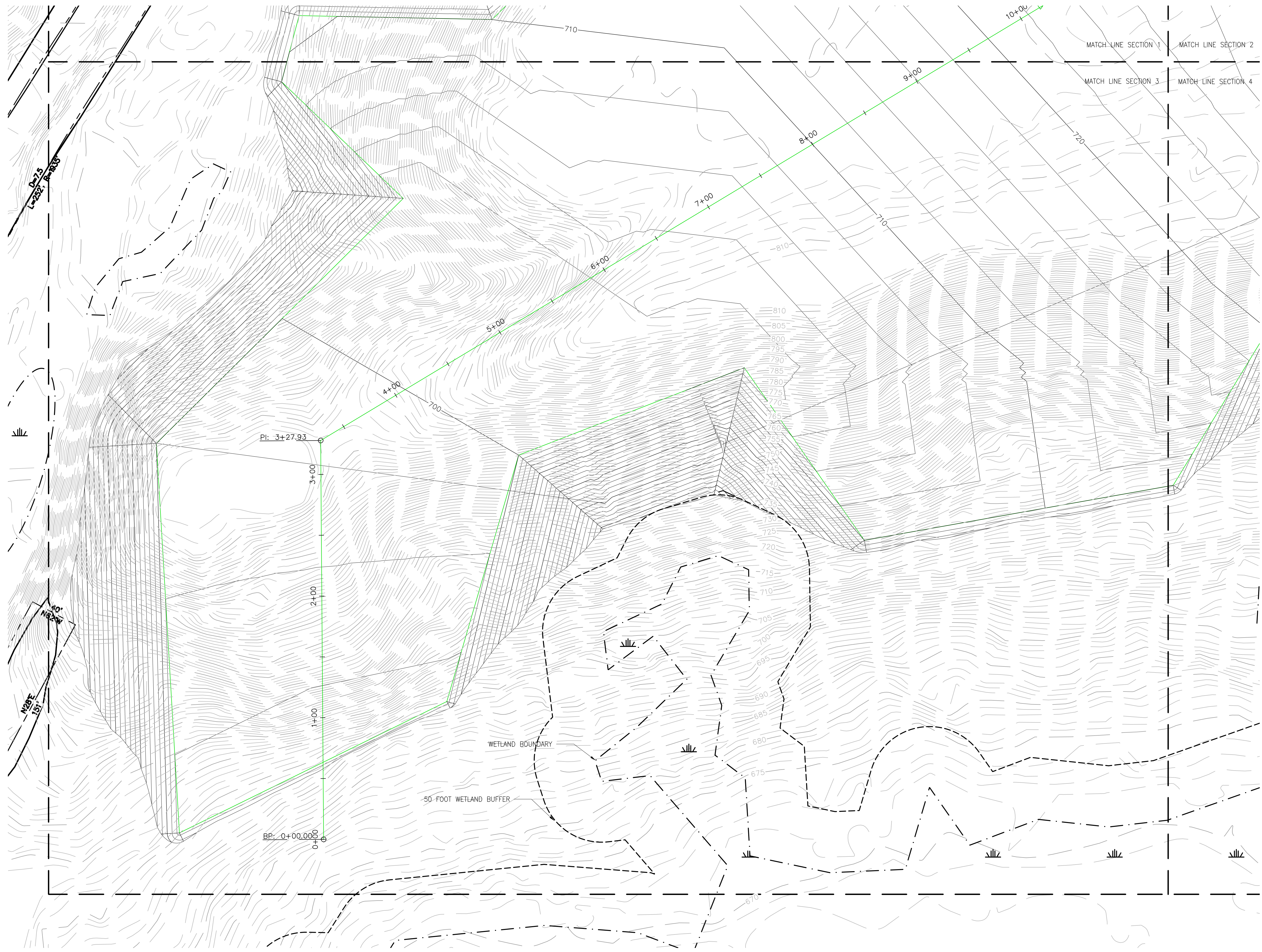
New England Consulting Engineers
 120 NORTHGATE PLAZA
 MORRISVILLE, VERMONT 05680
 TEL: (802) 888-5722



N A MANOSH INC
 2237 VERMONT ROUTE 15 EAST
 MORRISTOWN, VERMONT
 SOILS FACILITY IMPROVEMENTS
 SOIL EXTRACTION AREA
 GRADING PLAN 2

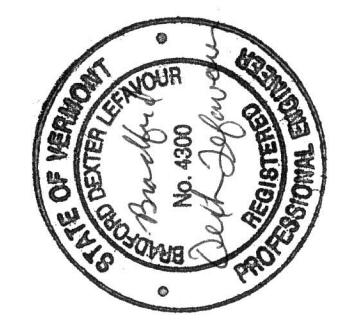
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DESIGNED BY:	BDL
DRAWN BY:	BDL
DATE:	MAY 2026
SCALE:	AS NOTED

C-5
 5 OF 8



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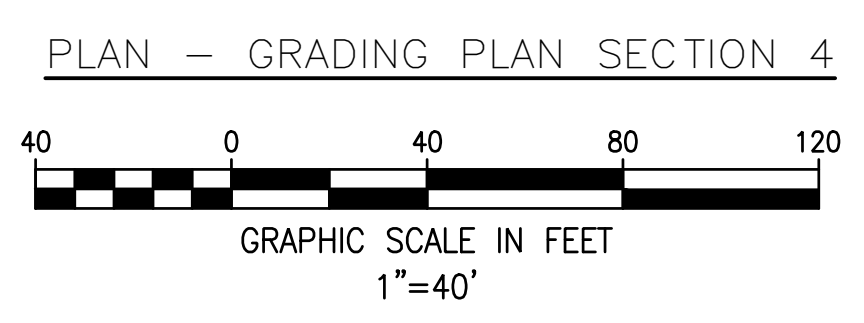
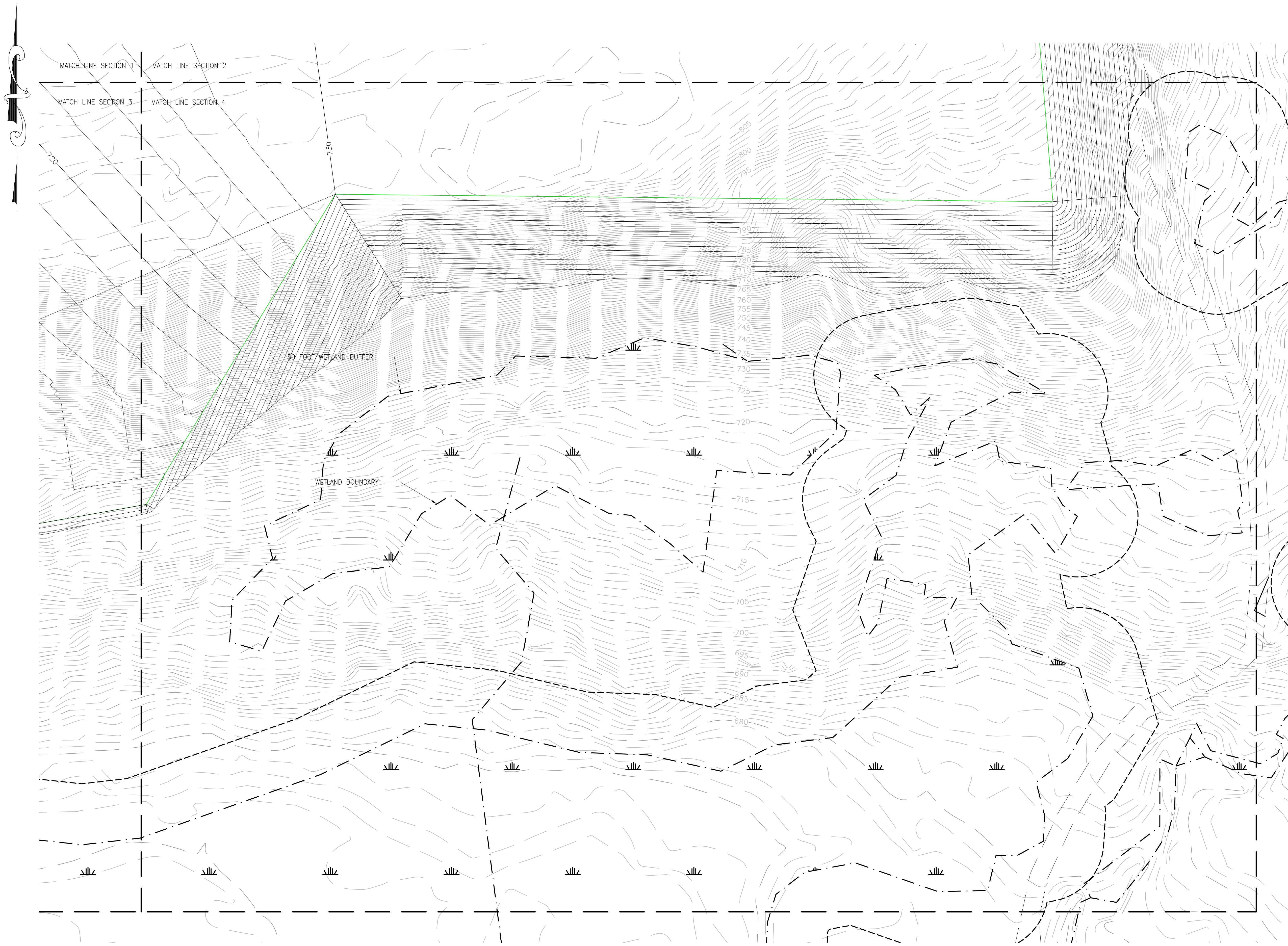
New England Consulting Engineers
 120 NORTHGATE PLAZA
 MORRISVILLE, VERMONT 05680
 TEL: (802) 888-5722



N A MANOSH INC
 2237 VERMONT ROUTE 15 EAST
 MORRISTOWN, VERMONT
 SOILS FACILITY IMPROVEMENTS
 SOIL EXTRACTION AREA
 GRADING PLAN 3

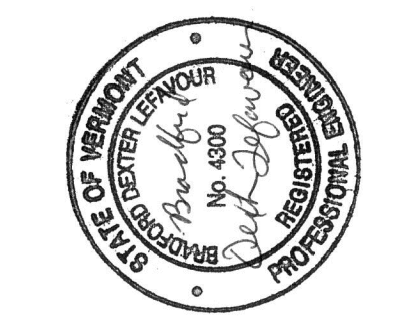
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 DESIGNED BY: BDL
 DRAWN BY: BDL
 DATE: MAY 2026
 SCALE: AS NOTED

C-6
 6 OF 8



REVISIONS

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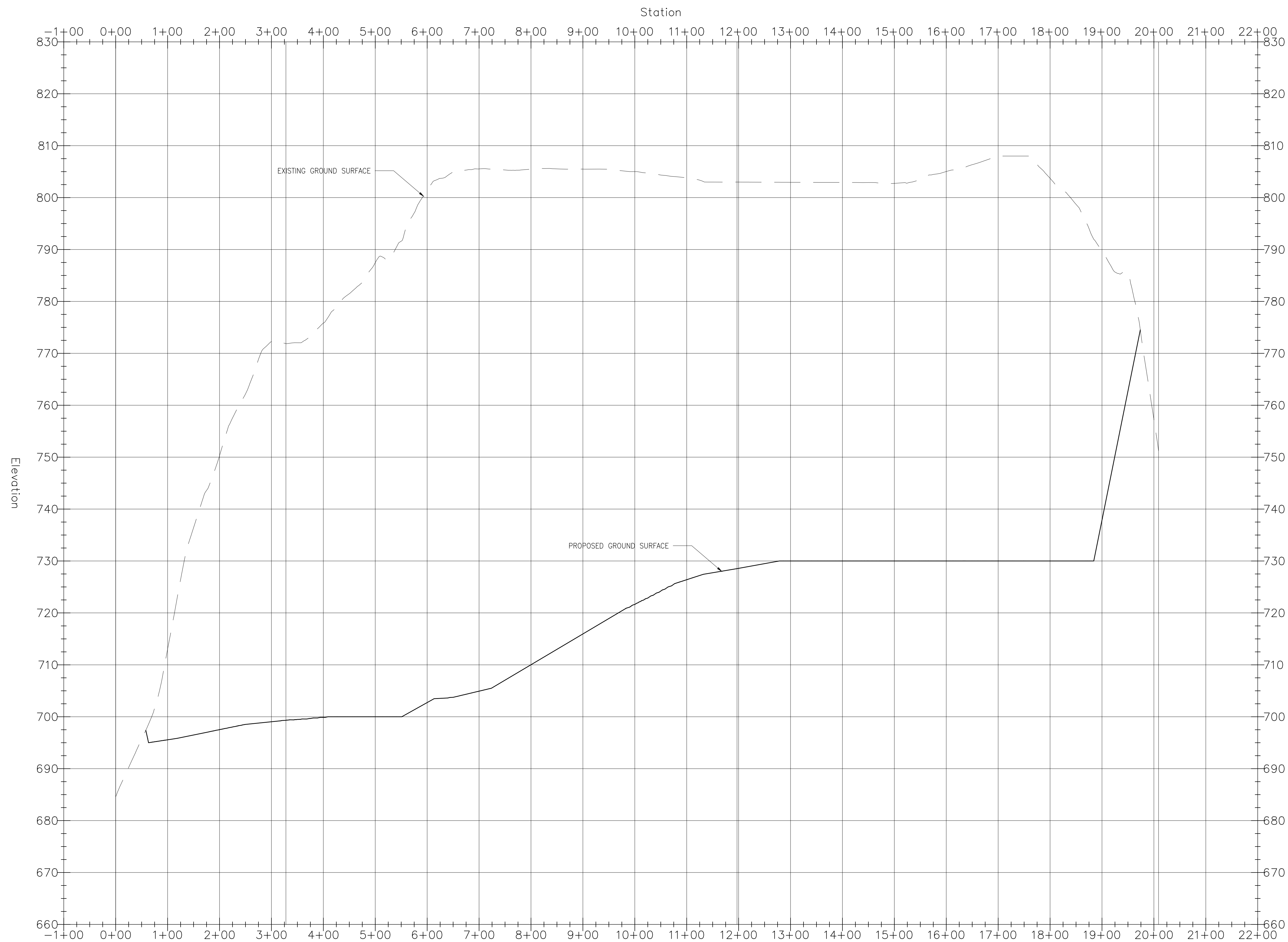


N A MANOSH INC
 2237 VERMONT ROUTE 15 EAST
 MORRISTOWN, VERMONT
 SOILS FACILITY IMPROVEMENTS
 SOIL EXTRACTION AREA
 GRADING PLAN 4

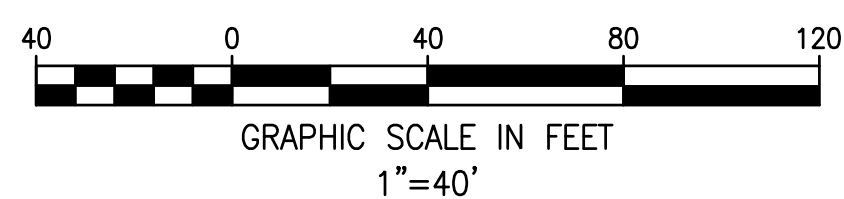
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 DESIGNED BY: BDL
 DRAWN BY: BDL
 DATE: MAY 2026
 SCALE: AS NOTED

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 7 OF 8

Alignment - (2) PROFILE

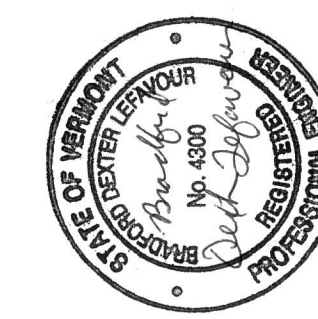


PLAN - GRADING PLAN SECTION 4



REVISIONS

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 MORRISVILLE, VERMONT 05680
 TEL: (802) 888-5722



N A MANOSH INC
 2237 VERMONT ROUTE 15 EAST
 MORRISTOWN, VERMONT
 SOILS FACILITY IMPROVEMENTS
 SOIL EXTRACTION AREA
 BASELINE PROFILE

PROJECT NO.	1130
DESIGNED BY:	BDL
DRAWN BY:	BDL
DATE:	MAY 2026
SCALE:	AS NOTED

C-8

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July 8th, 2026, DRB Meeting Staff Notes

APPLICATION: 2026-48

APPLICANT: N. A. Manosh Incorporated

REQUESTED ACTION: Conditional Use Review

LOCATION: 2333 Route 15 East.

EXISTING ZONING: Rural Residential Agriculture

PROJECT DESCRIPTION: 2026-48- Conditional Use application, submitted by N. A. Manosh Inc for a property located at 2237 Route 15 East. The Applicant is seeking to remove the existing crushing machinery and replace it with an asphalt plant. This project will be reviewed under the 2023 Zoning Bylaws with emphasis on the following Sections: 204.5a-b, 485, 500, 630, and 660.

PARCEL HISTORY:

1. Subdivision Review, two-lot subdivision, 2016-077, Approved 08-25-16
2. Conditional Use Review, Concrete Batch Plant, 2012-020, Approved 02-23-12
3. Zoning Permit, Sign, 2012-004, Approved 01-13-12

LIST OF APPLICANT SUBMISSIONS:

- A. Application and Narrative 5-26-26
- B. Subdivision Approval 5-21-26
- C. Site Plan and Plat 5-21-26

PROCEDURAL INFORMATION:

1. Agenda placed in News and Citizen 6/1/2026
2. Notice placed on the town website and at three locations in town on 6/8/2026
3. Abutters notified on 6/8/2026
4. Notice sent to Applicant 6/8/2026
5. Application continued to 7/8/26 on 6/24/26

STAFF COMMENTS (**Comments In Bold**):

1. 2026-48- Conditional Use application, submitted by N. A. Manosh Inc for a property located at 2237 Route 15 East. The Applicant is seeking to remove the existing crushing machinery and replace it with an asphalt plant. This project will be reviewed under the 2023 Zoning Bylaws with emphasis on the following Sections: Section 204.5a-b, 485, 500, 630, and 660.
2. The Applicants are also looking to expand the extraction area to 19 acres with the removal of 3,000,000 cubic yards of material.



3. The lot is located in the Rural Residential Agriculture district at 2237 Route 15 East.
4. The project has a preexisting special industrial use.
5. Section 900 of the bylaws defines special industrial use as the “extraction or processing of earth resources such as rock, stone, sand, gravel, and minerals. These operations are generally incompatible with other uses and require large land areas. The Special Industry use, specifically per §485 of the Bylaws, is only allowed east of Garfield Road between the river (south) and the town line (north).”
6. Section 204.a of the 2023 bylaws notes that special industrial uses are only allowed east of Garfield Road.
7. 2237 Route 15 East is located east of Garfield Road.
8. Section 485.1 notes that before approval of any new or proposed extension of a soil, sand, or gravel operation, a performance bond shall be secured from the applicant sufficient to ensure that upon completion of the extraction operations the abandoned site will be left in a safe, attractive and useful condition in the interest of public safety and general welfare. The owner(s) shall submit a plan of proposed improvements to accomplish this end. The bond shall be sufficient to cover the cost of redeveloping the site as a park, lake, recreation area or other usable open space.
9. The Applicants have not proposed any new performance bond for this project.
10. The applicants have not provided a reclamation plan for the site once the extraction has concluded. **(The board should consider what an appropriate performance bond would be for this project.)**
11. Section 485.2 notes that the removal of all material shall be conducted so as to result in the improvement of the land, giving due regard to the contours in the vicinity, such as leveling slopes and removing hills. The digging or creating of pits or steep slopes shall not be permitted, unless provision is made to refill such pit. **(The Applicants have not provided a plan to restore the extraction area. The board could consider requiring the applicant to provide a plan for site restoration prior to approval or make it a condition of approval. Providing a plan is required to comply with Section 485.2.)**
12. Section 485.3 notes that the excavation operation sites shall be graded smooth and left in a neat condition. Cut slopes and spoil banks shall not be allowed to remain. The operation site shall have 4" of inches of top soil, fertilized, mulched and seeded so as to establish a firm cover of grass or other vegetation sufficient to prevent erosion under the supervision and to the satisfaction of the Zoning Administrator.
13. Section 485.4 notes that all surface drainage affected by excavation operations shall be controlled by the owner to prevent erosion debris and other loose materials from filling any drainage course, street or private property. All provisions to control natural drainage water shall meet with the approval of the Zoning Administrator. **(The Applicants have not provided an erosion and sedimentation control plan with this project. The plan set shows two sedimentation ponds. However, no other details have been provided. The Applicants' narrative notes that there is the potential for some disturbance**



inside of the 50 foot wetland buffer. While the narrative notes that the project will require a wetland permit; it does not appear that the applicant has obtained one. The Board could consider requiring the applicant to obtain a wetland permit prior to approving the project.)

14. Section 485.5 notes that no excavation, blasting or stock piling of materials shall be located within two hundred feet of any street or other property line.
15. The applicants' plan set appears to show extraction within 200 feet of the northwest corner of the earth extraction area. **(The Applicants' plan set shows an area of extraction roughly between 80-120 feet of the property line. The applicants should confirm this distance and reduce the extraction area if it is within 200 feet of this lot line.)**
16. Section 485.6 notes that no power-activated sorting machinery or equipment shall be located within three hundred feet of any street or other property line, and all such machinery shall be equipped with satisfactory dust elimination devices.
17. The Applicant's site plan shows the proposed asphalt plant located at least 300 feet from the nearest property boundary.
18. Section 485.7 notes that all excavation slopes in excess of 1:2 shall be adequately fenced as determined by the Zoning Administrator.
19. The Applicants' site plan appears to comply with Section 485.7 of The Bylaws.
20. Section 485.9 notes that stripping of topsoil for sale or for use on other premises, except as may be incidental to a construction project, shall be prohibited. **(Since the primary focus of this project is a special industrial use, the applicant cannot sell topsoil from this site as it is not incidental to construction but the main focus of the use. The applicant's site plan does show a material storage area. However, the applicants have not shown where they plan to store the topsoil from this extraction process. The Applicants should clarify the storage location for the topsoil for this project.)**
21. Section 485.10 notes that the DRB may attach any additional conditions as it may find necessary for the safety and general welfare of the public.
22. The proposed asphalt plant abuts several residential lots, the closest of which are located south of the asphalt plant. **(Emissions from the plant could impact these abutting properties. The Board should consider whether the applicants have provided sufficient information to demonstrate that the project would have minimal to no impact on these residential properties. The applicant's narrative does not detail how these residential properties shall be protected from the potential emissions of this plant).**
23. The project shall be subject to the site plan regulations noted in Section 500 of The Bylaws.
24. The project's site plan is required to provide the information noted in Section 502.a-i.
25. Section 505 notes that landscaping shall be required for any non-residential use.



26. The development area will be screened by an existing berm and the extraction area will have a vegetative buffer screening it from view.
27. The Applicants are not proposing changes to the existing landscaping. **(The Board may want to consider additional planting to help mitigate noise if the board deems it necessary).**
28. The project will be subject to any of the requirements noted in Section 630 of The Bylaws.
29. Section 632 notes that the proposed project cannot have an adverse impact on any of the following:
 - a. 632.1 Community Facilities
 - b. 632.2 The character of the affected area
 - c. 632.3 Reduction in the ability of an area to hold water
 - d. 632.4 Will not result in undue water, noise, or air pollution (The Applicants have not submitted an erosion control plan or storm water plan for the project. They have also not provided a plan to control for potential emissions that could impact abutting residential properties.)

OUTSTANDING ITEMS:

1. Performance Bond as required by Section 485.1
2. Site restoration plan as required by Section 485.2 & Section 485.3
3. Erosion and sedimentation control plan as required to comply with Section 485.4
4. Storm water plan demonstrating compliance with Section 485.4

ITEMS FOR DRB CONSIDERATION:

1. Have the applicants provided enough information to ensure that abutting residential properties will not be impacted by emissions?
 - a. What additional information should the applicants provide to confirm this?
2. What additional conditions, if any, would the board like to put on this project as allowed under Section 636 of the Bylaws?

RECOMMENDATIONS TO THE DRB

1. Continue the application until the outstanding items noted below have been addressed:
 - a. Performance bond as required by Section 485.1
 - b. Site restoration plan as required by Section 485.2 & Section 485.3
 - c. Erosion and sedimentation control plan as required to comply with Section 485.4
 - d. Storm water plan demonstrating compliance with Section 485.4



June 15th, 2026

Tyler Machia, Zoning Administrator
Town of Morristown
43 Portland Street, Morrisville, VT 05661

Subject: Proposed 14-unit Residential Building
5 Park Street LLC
5 Park Street, Morrisville, VT 05661

Project #22027.1

Dear Tyler,

Please find attached an application, proposed architectural drawings, and proposed site plan for a proposed 14-unit multi-family building on the property at 5 Park Street in the Central Business (CB) zoning district, for review and approval by the Development Review Board (DRB).

The proposed building has an approximate footprint of 4,848 square feet and will sit in the rear of the property. The building will be two stories with two access points. The site will be improved with additional parking to provide a total of 21 on-site parking spaces to serve the existing 5 residential units and proposed 14 residential units. The existing commercial unit will remain and utilizes on-street parking. The property is accessed via the existing driveway from Park Street.

The proposed multi-family dwelling project has been designed to comply with the Design Criteria established in Section 206 of the Morristown/Morrisville Zoning Bylaws.

1. Architectural repetition
 - a. The building design is architecturally distinct from adjacent structures through the use of varied massing, roof forms, façade articulation, window placement, materials, and architectural detailing. The project avoids repetitive building forms and incorporates visual interest along all street-facing elevations.
2. Cladding
 - a. All window and door trim is designed to project beyond the finished siding surface and conceal exposed J-channel trim where applicable. Exterior materials have been selected to provide a durable and visually compatible appearance with surrounding development.
3. Entry Door
 - a. The primary entrance faces the property's principal street frontage and is clearly identifiable from the public realm. Pedestrian access is provided directly from the public sidewalk to the main entrance.
4. Front Porch
 - a. The building includes a covered front porch that meets or exceeds the minimum dimensional requirements and connects to the public sidewalk.
5. Garages
 - a. There are not proposed garages.
6. Pedestrian walkways and bicycle infrastructure

- a. The project provides safe pedestrian access from public sidewalks to building entrances.
- b. A bicycle rack is proposed.
- 7. Blank walls.
 - a. The building design is architecturally to avoid any blank walls facing any streets on which the property has frontage.
- 8. Building size maximums.
 - a. The building design limited to 68 feet or less in width and its depth is no more than 150% of the depth of the larger of the two directly adjacent structures.
- 9. Glazing.
 - a. Not applicable.
- 10. Lighting
 - a. Exterior lighting is designed to comply with applicable bylaw standards and minimize glare onto neighboring properties and public rights-of-way.
- 11. Loading docks & garbage storage.
 - a. There are no loading docks.
 - b. A proposed enclosed dumpster area is proposed to be located in the rear of Buildings and away from public right-of-way.
- 12. Outside space.
 - a. The site includes 24sf of exterior outdoor space per unit.
- 13. Parking.
 - a. Parking areas are located to the side or rear of the main front building.
- 14. Rooflines.
 - a. Any mechanical units will be located so they are not visible from any Street.
- 15. Stormwater.
 - a. Stormwater runoff from the proposed building will run into proposed pea stone drip edges and a shallow swale around the building for infiltration.
 - b. Stormwater from the parking area will follow existing drainage patterns.
- 16. Utilities
 - a. Utility services will be proposed underground to minimize visual impacts and preserve the character of the streetscape.

The project has been designed to support the goals of Section 207 by preserving and reinforcing the historic character of the Morrisville Historic District and surrounding contributing structures.

- 1. Building Height
 - a. The proposed building height complies with the minimum height requirements and maintains a scale compatible with nearby historic structures.
- 2. Exterior Building Materials
 - a. The front façade and visible side elevations utilize preferred building materials that reflect the architectural character of the district.
- 3. Architectural Detailing
 - a. Corner boards, trim elements, frieze boards, soffits, roof details, and related architectural features are designed to reflect traditional proportions and detailing commonly found within the historic area.
- 4. Setback and Streetscape Relationship

- a. The building is setback into the rear of the property as an “in-fill” project and will have minimal influence on the streetscape perspective of the neighborhood.
5. Storefront and Glazing
 - a. Not applicable
6. Mixed Use Requirements
 - a. Not applicable
7. Window Design
 - a. Window proportions, materials, operation, and trim details have been selected to reflect traditional historic building forms. Window sizing and placement create a consistent façade rhythm compatible with nearby historic structures.
8. Compatibility with Historic Character
 - a. The project has been designed to complement surrounding historic buildings through appropriate scale, massing, materials, roof forms, façade composition, and architectural detailing while allowing for contemporary construction methods and building performance standards.

Based on the foregoing, the proposed project satisfies the Design Criteria of Section 206 and the Historic Preservation Criteria of Section 207. The project advances the objectives of the zoning bylaw by promoting high-quality design, pedestrian-oriented development, and compatibility with the historic character of the surrounding area.

The submitted site plan includes all information required under Section 502, including:

- Property ownership and applicant information.
- Name and contact information of the plan preparer.
- Date of preparation, scale, and north arrow.
- Existing and proposed property features, including structures, roadways, utility easements, rights-of-way, and natural features.
- Location of all proposed buildings, parking areas, access drives, utilities, and stormwater infrastructure.
- Boundary survey information where required.
- Location of refuse, recycling, and utility facilities.
- Identification of heating and cooling systems serving the proposed development.

TRAFFIC AND CIRCULATION

- The project provides safe and efficient vehicular circulation throughout the site.
- Traffic along Park Street includes approximately 2,100 Annual Average Daily Trips (AADT) per day. This proposed project will result in an increase of approximately 15 peak hour trips (per ITE Trip Manual) for the 14 residential units. This new traffic will be easily absorbed by Park Street.

VEHICULAR & PEDESTRIAN ACCES

- Vehicular access is provided via the existing driveway entrance off Park Street.
- Pedestrian access includes proposed sidewalks to access the public sidewalk along Park Street.

PARKING

- Parking has been designed to meet the requirements of the zoning bylaw. Parking areas are appropriately sized, provide safe circulation, and accommodate anticipated demand. Parking locations have been selected to minimize visual impacts while maintaining convenient access to the proposed use.

RENEWABLE ENERGY CONSIDERATIONS

- The project has been designed to avoid unnecessary impacts on renewable energy resources.

LANDSCAPING PLAN COMPLIANCE

1. General Landscaping
 - a. The project incorporates a mixture of shade trees and shrubs appropriate to the site and surrounding neighborhood character.
2. Screening and Buffers
 - a. A landscaped buffer is provided to screen the parking area from Park Street.
 - b. The proposed plantings are designed to provide effective year-round screening while maintaining site safety and visibility.
3. Parking Lot Landscaping
 - a. Shade trees are distributed throughout the parking area as required.
4. Plant Materials and Maintenance
 - a. All landscaping will be installed according to accepted horticultural standards. Plant materials will be hardy, non-invasive species suitable for Vermont growing conditions. Dead or damaged plant materials will be replaced promptly to ensure long-term viability and compliance with the approved landscape plan.

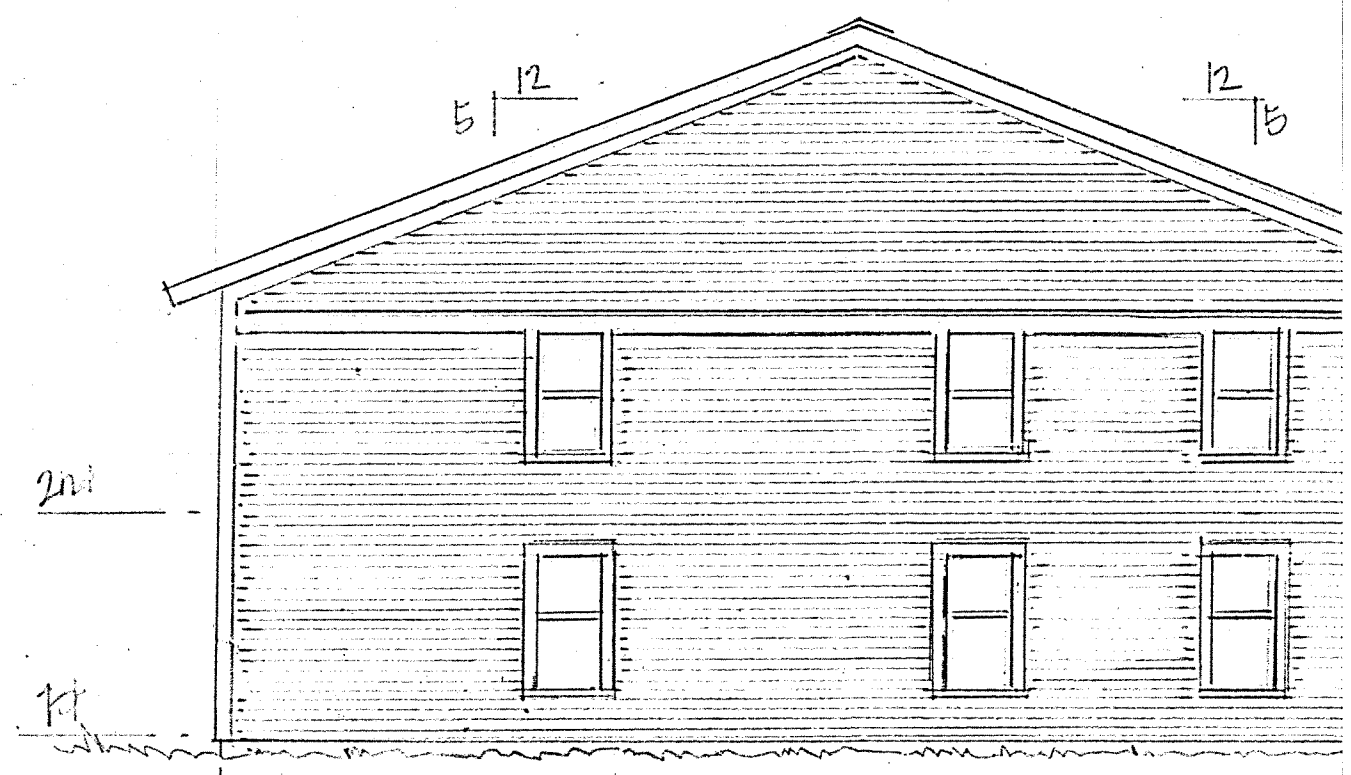
The proposed development satisfies the objectives and standards of Section 500 by providing appropriate site design, safe circulation, adequate parking, pedestrian connectivity, effective landscaping, buffering, and screening. The project is designed to be compatible with surrounding properties while promoting orderly development and enhancing the visual character of the community.

Please review and let us know if you have any questions or comments.

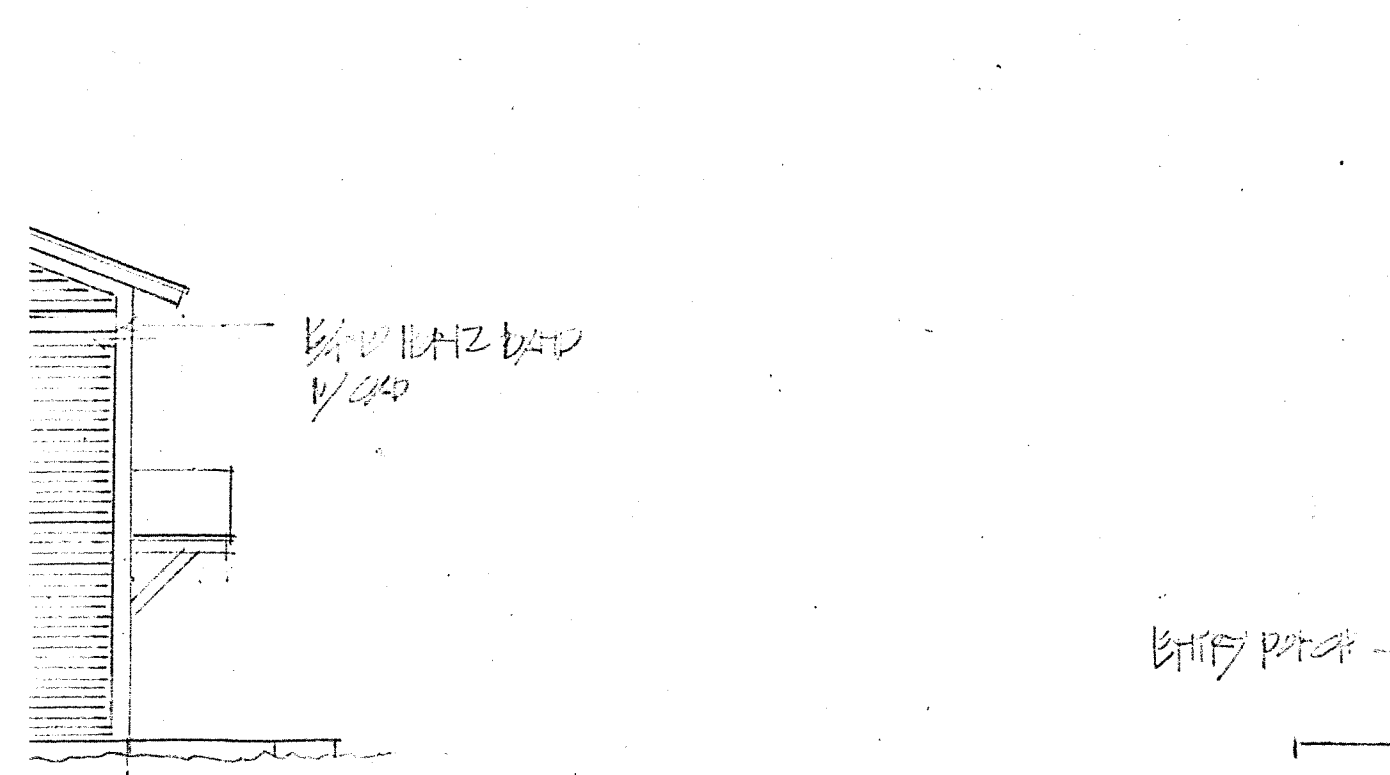
Sincerely,
Tyler Mumley, P.E.



Mumley Engineering, Inc.



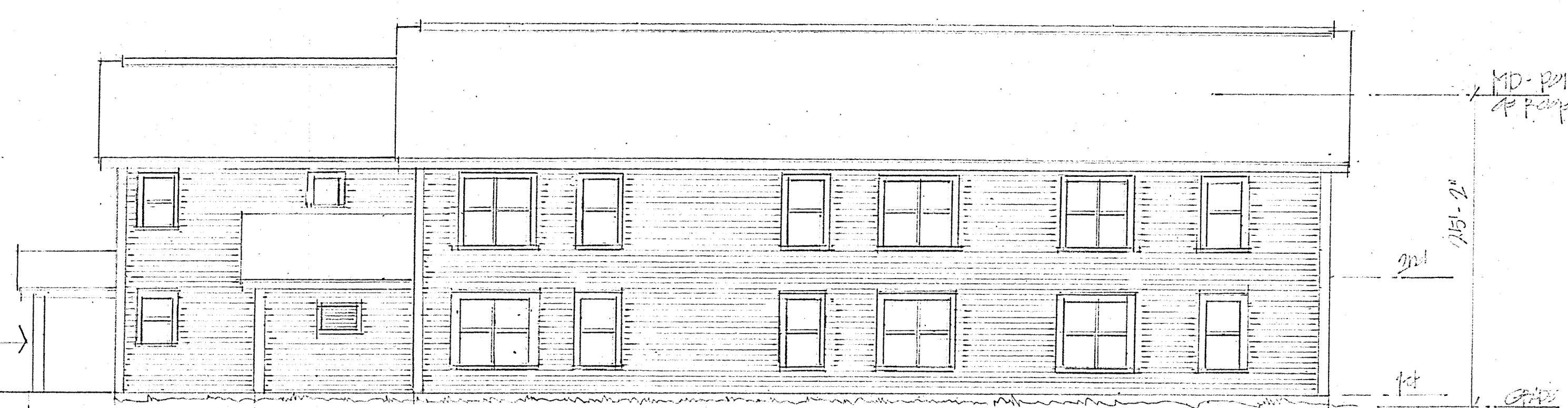
NORTH ELEVATION
1/8"



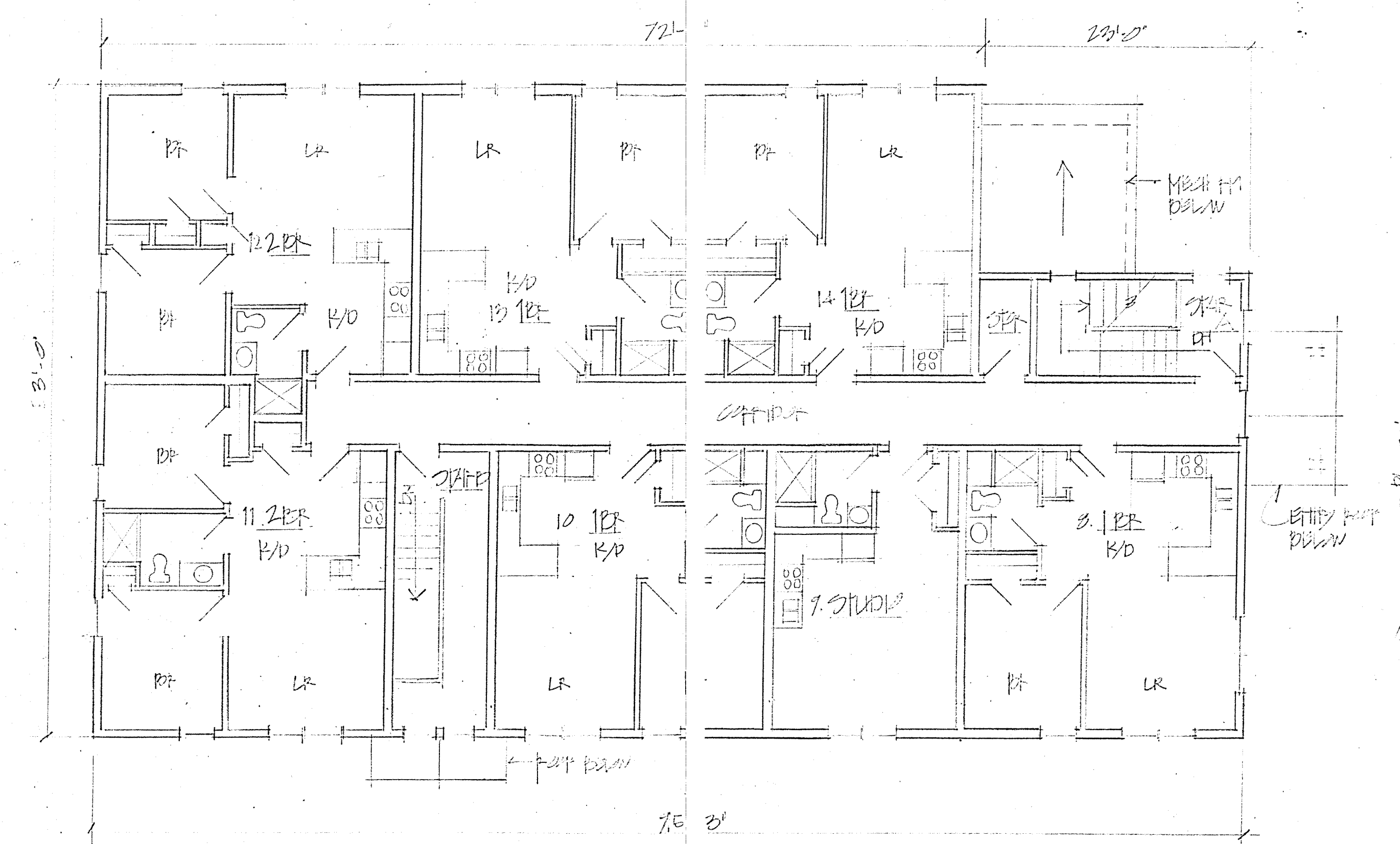
EAST ELEVATION
1/8"



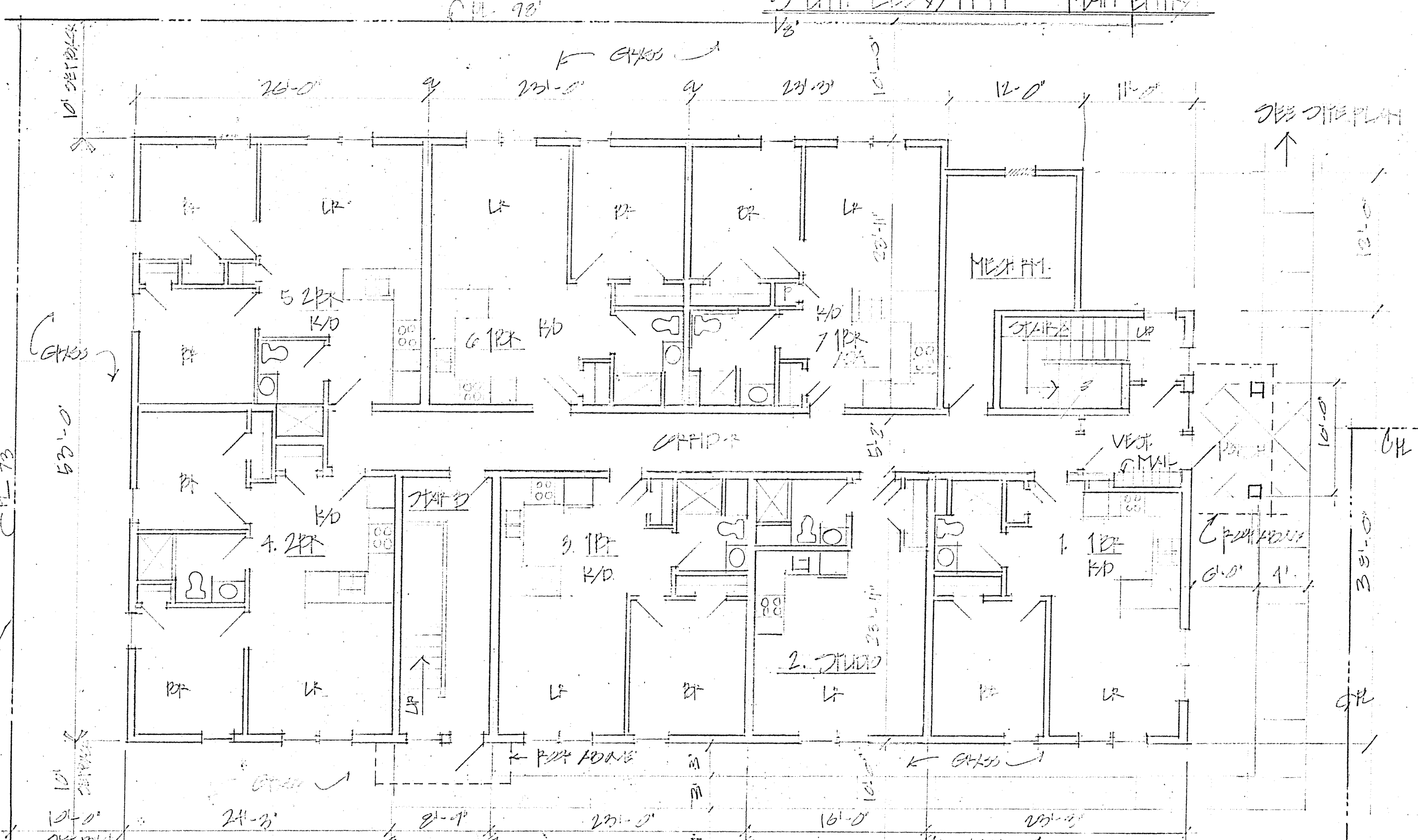
WEST ELEVATION
1/8"



SOUTH ELEVATION - MAIN ENTRY
1/8"



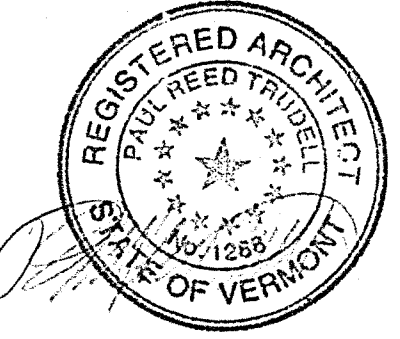
SECOND FLOOR PLAN
1/8"



FIRST FLOOR PLAN
1/8"

SRD
SILVER
RIDGE
DESIGN
ARCHITECTS

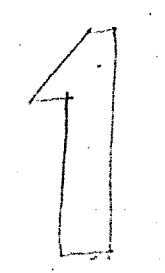
298 WEST MAIN ST.
HYDE PARK, VT.
802-888-1276



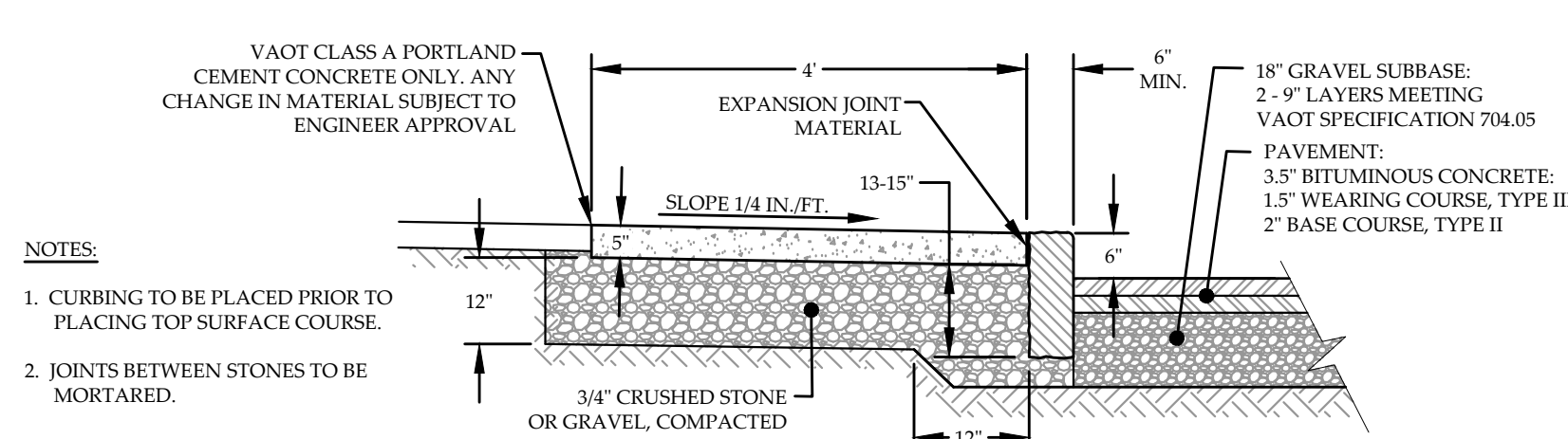
project
PART OF
APARTMENTS
4 APARTMENTS
5 PART
MATERIALS

sheet title
FLOOR PLANS
ELEVATIONS

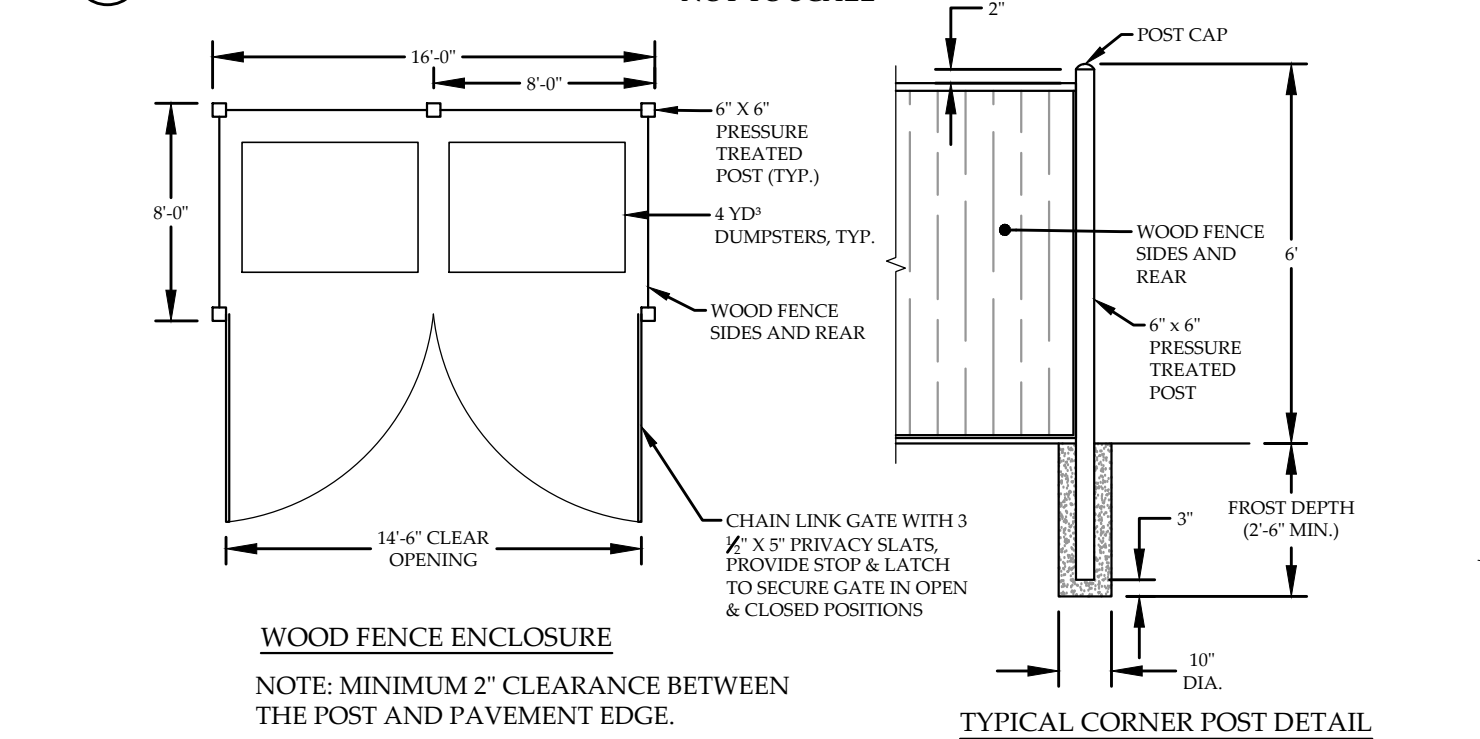
scale: 1/8" = 1'-0"



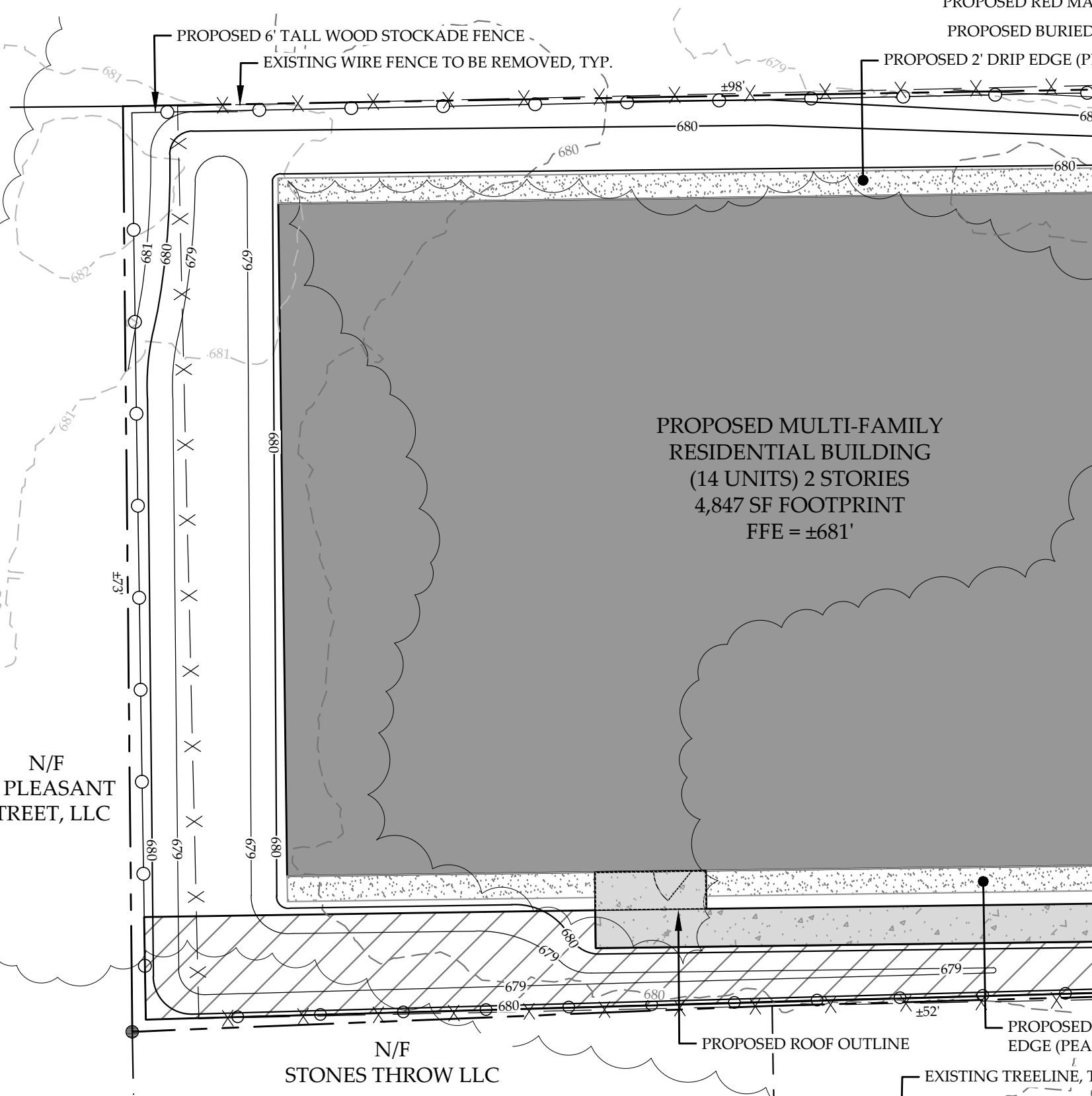
JUNE 14, 2016



CONCRETE SIDEWALK WITH 6" CURB DETAIL
NOT TO SCALE



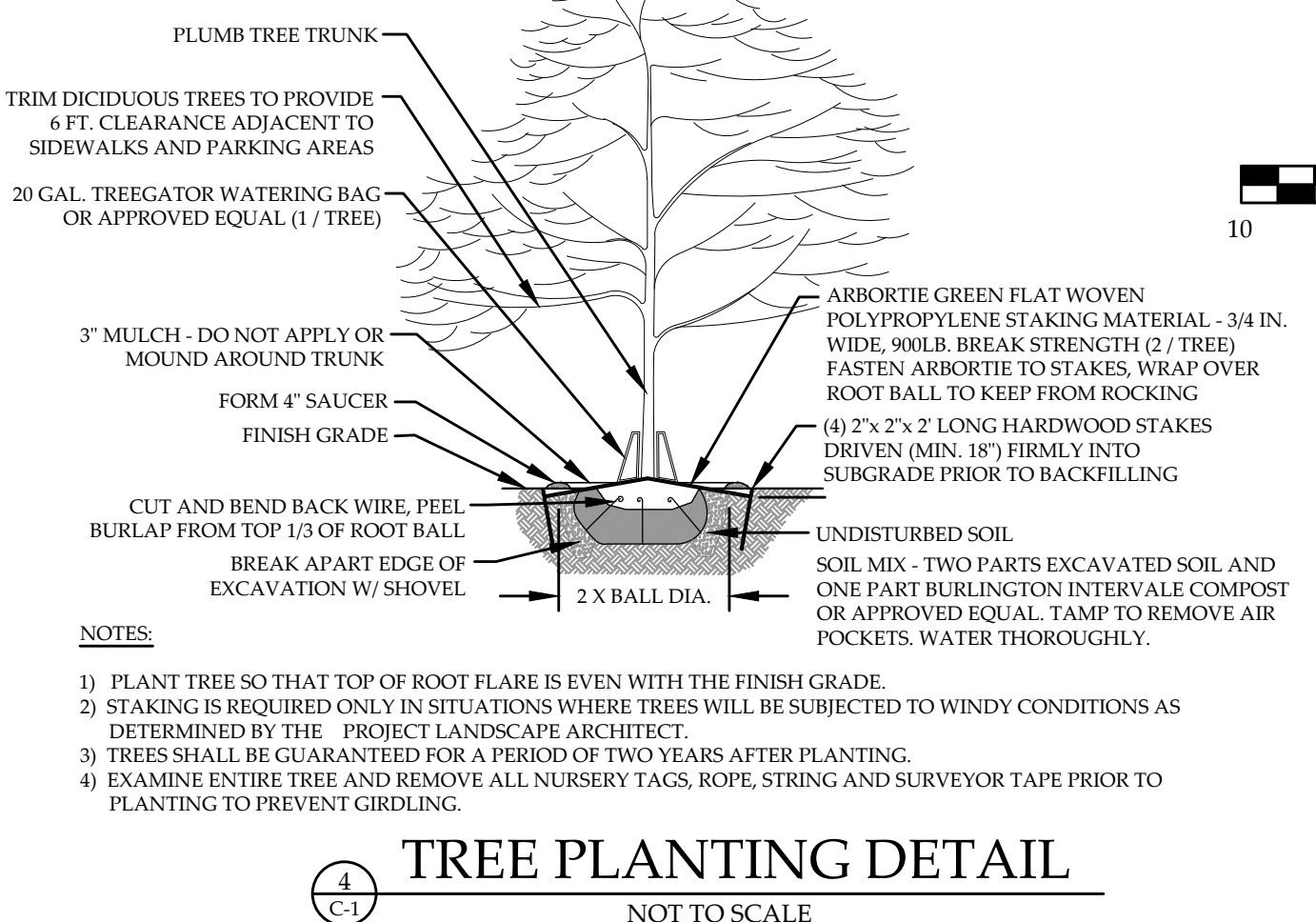
WOOD FENCE DUMPSTER ENCLOSURE
NOT TO SCALE



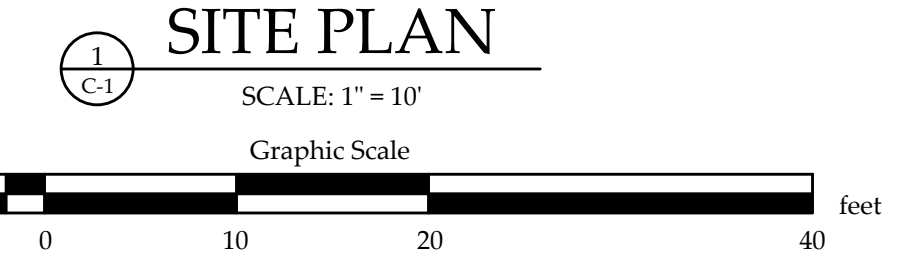
PLAN REFERENCES:

- 1) TOPOGRAPHIC, PARCEL, AND ORTHOGRAPHIC INFORMATION TAKEN ELECTRONICALLY FROM THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION ON 03-03-22.
- 2) PARCEL AND SITE INFORMATION PROVIDED AND TAKEN FROM A PRELIMINARY SURVEY PLAN ENTITLED "5 PARK STREET, LLC", PREPARED BY VERMONT LAND INTEGRITY, DATED 9/13/2022, LAST REVISED 12/19/2022.
- 3) PARCEL AND SITE INFORMATION TAKEN FROM PLAN ENTITLED "PROPERTY OF CONGREGATIONAL CURCH, 85 UPPER MAIN STREET", DATED DECEMBER 21, 2022, PREPARED BY MATT REED LAND PLANNING SERVICES LLC.
- 4) PARCEL AND SITE INFORMATION TAKEN FROM PLAN ENTITLED "5 PARK ST. LLC, BOUNDARY ADJUSTMENT PLAN", DATED 9/28/2023, LAST REVISED 5/14/2024, PREPARED BY VERMONT LAND INTEGRITY.

- NOTES:**
- 1) THIS DRAWING IS NOT A BOUNDARY SURVEY PLAT. BOUNDARY LINE INFORMATION SHOWN IS BASED ON PLAN REFERENCE #3 & #4. THE PROPERTY LINES, EASEMENTS AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THIS DRAWING ARE FOR ILLUSTRATION PURPOSES ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN V.S.A. TITLE 27 SECTION 1403 AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
 - 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION. APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - 3) THIS TOPOGRAPHIC SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" BEFORE COMMENCING ANY WORK AND SHALL PRESERVE ALL EXISTING UTILITIES NOT SPECIFIED TO BE REMOVED OR ABANDONED AS PART OF THE PROJECT.



TREE PLANTING DETAIL
NOT TO SCALE



LEGEND

N/F	NOW OR FORMERLY OWNED BY
○	EXISTING UTILITY POLE
●	IRON PIPE / REBAR FOUND
○	EXISTING TREE
---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	ABUTTER PROPERTY LINE
---	EXISTING TREE LINE
---	EXISTING OVERHEAD WIRES
---	EXISTING CONTOUR
---	EXISTING BARR WIRE FENCE

PURPOSE OF PLAN:
PROPOSED 17-UNIT RESIDENTIAL BUILDING WITH ASSOCIATED SITE IMPROVEMENTS AND CONNECTION TO MUNICIPAL WATER & SEWER.

ZONING NOTES:
DISTRICT: CB
MINIMUM LOT SIZE: 1,500 SF
MINIMUM LOT FRONTAGE: 20 FT
SETBACKS:
FRONT = 0 FT MIN, 5 FT MAX
REAR = 0 FT
SIDE = 0 FT
SHORELINE = 50 FT

OWNER OF RECORD:
5 PARK STREET LLC

PARKING CALCULATIONS:
- REQUIRED PARKING = 1 SPACE PER RESIDENTIAL UNIT = 19 SPACES
- PROPOSED PARKING = 20 SPACES
- NOTE: COMMERCIAL UNIT UTILIZES STREET PARKING

DENSITY CALCULATIONS:
- EXISTING = 1 COMMERCIAL UNIT
- EXISTING = 5 RESIDENTIAL UNITS
- PROPOSED = 14 RESIDENTIAL UNITS
- TOTAL = 19 RESIDENTIAL UNITS & 1 COMMERCIAL UNIT

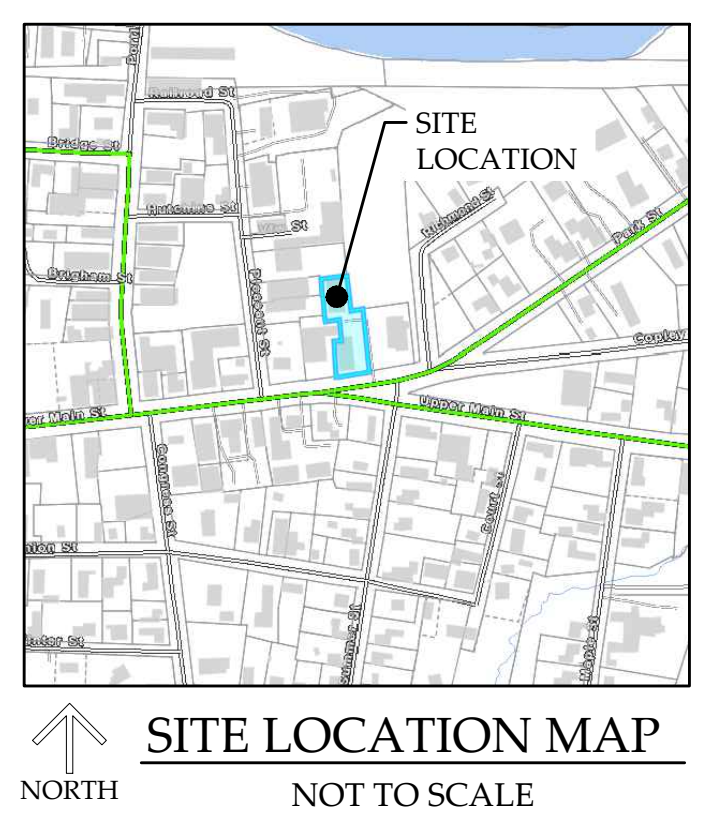


SITE PLAN
5 PARK STREET LLC
5 PARK STREET
MORRISVILLE, VERMONT

MUMLEY ENGINEERING, INC.
46 HUTCHINS STREET
MORRISVILLE, VT 05661
WWW.MUMLEYENGINEERING.COM
COPYRIGHT © 2024 - MUMLEY ENGINEERING, INC.

PROJECT NO.22027.1
DRAWN BYWEH/RBM
CHECKED BYTRM
SCALE1" = 10'
DATE06/15/26

SHEET NO.
C-1
1 OF 1 SHEETS



SITE LOCATION MAP
NOT TO SCALE

NORTH

↑ TO VT ROUTE 15

↑ TO MAIN STREET

PARK STREET (VT 15A)



July 8th, 2026, DRB Meeting Staff Notes

APPLICATION: 2026-58

APPLICANT: Mumley Engineering

REQUESTED ACTION: Site Plan Review

LOCATION: 5 Park Street

EXISTING ZONING: Commercial Business

PROJECT DESCRIPTION: 2026-58- Site Plan Review application, submitted by Mumley Engineering on behalf of 5 Park Street LLC, to approve the site plan for a 14 unit multifamily housing building located at 5 Park Street. This project will be reviewed under the 2023 Morristown Zoning and Subdivision bylaws and the proposed 2026 Morristown Zoning and Subdivision Bylaws. The following Sections of 2023 that are applicable to this application include but are not limited to the following: 204.5a-b, 206, 207, 450, 505, 500. The following Sections of 2026 that are applicable to this application include but are not limited to the following: 204.E-F, 206, 207, 450, 453, 500, 505, 510.

PARCEL HISTORY:

1. Site Plan Approval, 21 unit apartment building ,2022-178, Denied 11/09/2022
2. Zoning Permit, New Sign, Approved 05/13/2020
3. Zoning Permit, Adding 4th and 5th Apartment, 12/12/2017
4. Zoning Permit, New Sign, Approved 11/05/2017

LIST OF APPLICANT SUBMISSIONS:

- A. Application 6-15-26
- B. Narrative 6-15-26
- C. St Arch Plans 6-15-26
- D. Site Plans 6-15-26

PROCEDURAL INFORMATION:

1. Agenda placed in News and Citizen 6/22/2026
2. Notice placed on the town website and at three locations in town on 6/22/2026
3. Abutters notified on 6/22/2026



4. Notice sent to Applicant 6/22/2026
5. Application continued to 7/8/26 on 6/24/26

STAFF COMMENTS (Comments In Bold):

1. 2026-58- Site Plan Review application, submitted by Mumley Engineering on behalf of 5 Park Street LLC, to approve the site plan for a 14 unit multifamily housing building located at 5 Park Street. This project will be reviewed under the 2023 Morrilltown Zoning and Subdivision bylaws and the proposed 2026 Morrilltown Zoning and Subdivision Bylaws. The following Sections of 2023 that are applicable to this application include but are not limited to the following: 204.5a-b, 206, 207, 450, 505, 500. The following Sections of 2026 that are applicable to this application include but are not limited to the following: 204.E-F, 206, 207, 450, 453, 500, 505, 510.
2. The lot is located in the Commercial Businesses Zoning district and is located at 5 Park Street
3. The Applicant is proposing multiple principle structures and uses on the same lot which is a permitted use as noted in Section 204.E of the 2026 Morrilltown zoning and subdivision bylaws.
4. Multiple principal uses on a lot requires site plan review as noted in Section 510 of the Bylaws.
5. The Proposed Residential building is subject to the design review criteria noted in Section 206 of the 2026 Bylaws.
6. The Project complies with the following Sections of 206: 1-12, and 15.
7. Section 206.13 notes that applicants are required to have 24 feet of outdoor space per unit such as a common deck, porch, front lawn, or a private deck, porch or patio.
8. The Applicants are proposing a 14 unit building and are therefore required to provide 336 feet of space as noted in Section 206.13. **(The Applicants have not shown how they intended to comply with this section. The Board could consider requiring the applicant to demonstrate how they will comply with this section).**
9. Section 206.14 notes that parking shall be located to the sides or rear of buildings. No parking is to be located between the building and its primary street frontage.
10. The applicants site plan shows parking between the new building and park street. However, the parking is to the side of the existing building located at 5 Park Street. **(The board will need to determine if the parking needs to be located to the side or rear of the new proposed building or is it acceptable to have that parking located to the side of the existing building at park street).**
11. Section 206.16 notes that all rooftop mounted mechanicals need to be screened.
12. The Applicants have not indicated whether the mechanicals will be located on the roof of the building. **(The Applicants should confirm the location of any mechanical units.**



Section 206.17 notes that stormwater will not be discharged from multi family housing onto town property including public streets).

13. The Applicants have not provided a storm water plan for the site. **(The Applicants will need to provide a stormwater plan to ensure that water from the site does not travel onto abutting properties with a particular emphasis on the library property and park street)**
14. Section 206.18 notes that utilities shall be located underground unless waived by the DRB for a reason other than cost.
15. The Applicants site plan shows overhead utilities **(The Applicants should updated their site plan to show underground utilities or they should request that the DRB waive this requirement for reasons other than cost)**
16. The Project is located in the historic preservation district and is subject to the regulations noted in Section 207 of the Bylaws.
17. The Project complies with the following Sections of 207: A, B, C.1, C.3,C.4 C.5, C.6, C.7, C.8, C.9, C.10
18. Section 207.C.2 notes that all building material shall be preferred building materials note that vinyl siding is prohibited unless the DRB finds that the siding in question meets the historic preservation goals. **(The Applicants have shown vinyl siding on the proposed structure The applicants must either replace the siding with a preferred building material or request that the DRB determines whether or not the proposed vinyl siding meets the standards noted in Section 207).**
19. Section 207 C.11 notes the requirements for windows in the historic preservation district.
20. While the applicant's site plan shows windows. They have not supplied detail sheets noting the construction of the windows. **(The Applicants will need to provided more detailed information on the windows to determine if they comply with the standards noted in this section).**
21. The Applicant's project is in compliance with the parking requirements noted in Section 453.
22. The Applicants have provided one parking space per unit as required by Section 435.
23. The project shall be subject to the site plan regulations noted in Section 500 of The Bylaws.
24. The projects site plan is required to provide the information noted in Section 502B.
25. The Applicants project complies with the following section of 500.B: 1,2,3,4,5,6.i, 6.iii, 6 6.v
26. The Applicants site plan does not show the location of propane tanks as noted in Section 500.B.6.ii.
27. The Applicants site plan does not show the location of clustered mailboxes as required by Section 500B.6.iv.
28. The Applicants site plan does not note how the building will be heated as required by Section 500B.6.v.



29. Section 505 notes that landscaping shall be required for any multi family housing uses.
30. The Applicants have not provided a landscaping plan for this project. (**The Applicants should provide additional landscaping information to ensure compliance with section 505.**)

OUTSTANDING ITEMS:

1. Plan to comply with outside space as noted in Section 206.13 of the 2026 bylaws.
2. Location of any rooftop mechanicals.

ITEMS FOR DRB CONSIDERATION:

1. Do the applicants need to redesign the project to have the parking located to the rear of the new proposed building as noted in Section 206.14 ?
2. Should the board allow the applicants to use vinyl siding on the building?
3. Should the applicants be required to provide additional information about the construction of the proposed windows?

RECOMMENDATIONS TO THE DRB

1. Approve the application to date certain and require the applicants to provide any information the board deems necessary to address the outside information noted in Section 502.c & d as well as outstanding information noted :

**Nick A. Manosh
Mixed Use Subdivision
Ferland Pit Road
Morristown, Vermont**

General

There are 2 existing parcels owned by Nick Manosh on the Ferland Pit Road: one (1) of 7.4 acres, containing a single family dwelling; one (1) consisting of 107 acres of unimproved land surrounding the smaller parcel. This project is for the subdivision of the 107 acres into three parcels for multiple uses. The property is previously covered by Vermont Act 250 permit No. 5L1048.

Lot 1 – 28.5 acres

This lot is proposed for the second phase of soil extraction. A total of approximately 2,300,000 yards of soil will be extracted over the life of the property. The annual extraction rate of 50,000 cubic yards per day, or 500 cubic yards per day average over a 100 day season. This will create truck traffic at an average rate of 40 and a maximum rate of 80 trucks per day. The pit will operate year-round, with a reduced operating level from December through April.

Lot 2 – 19.4 acres

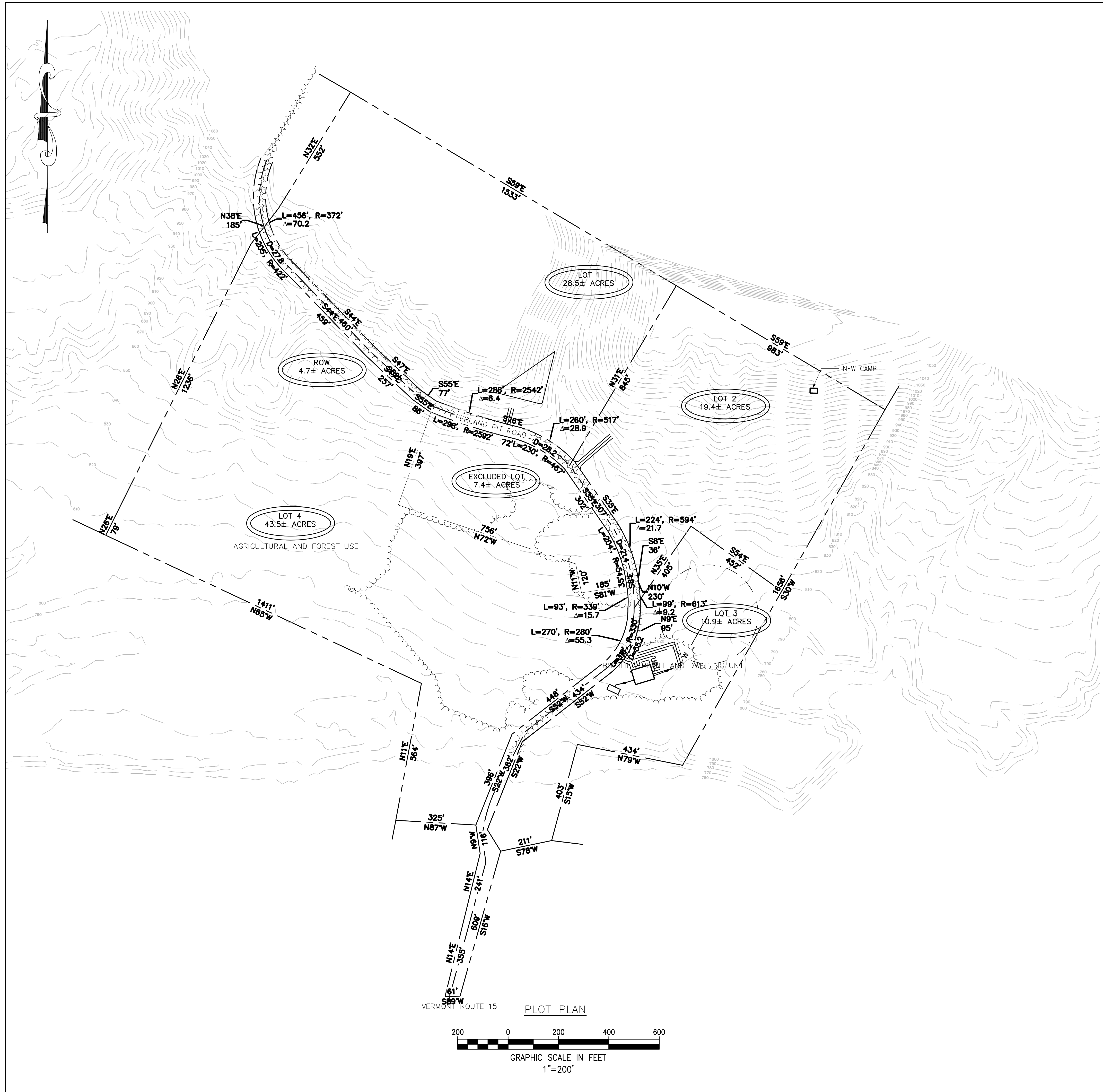
This lot is proposed for first phase of soil extraction. A total of approximately 700,000 yards of soil will be extracted over the life of the property. The annual extraction rate of 50,000 cubic yards per day, or 500 cubic yards per day average over a 100 day season. This will create truck traffic at an average rate of 40 trucks per day. The pit will operate year-round, with a reduced operating level from December through April. The owner plans to construct a primitive camp on this lot.

Lot 3 – 10.9 acres

Mixed use of a single-family dwelling and a bulk water loading facility are proposed for this lot. The bottling plant employee up to 6 workers. There will be permitted as a public water supply and bulk water loading station for truck transport. The water source will be an onsite bedrock well. This will create truck traffic at a average rate of 40 trucks per day.

Lot 3 – 43.6 acres

This lot will remain unimproved and intended to be used for agriculture and silviculture purposes.

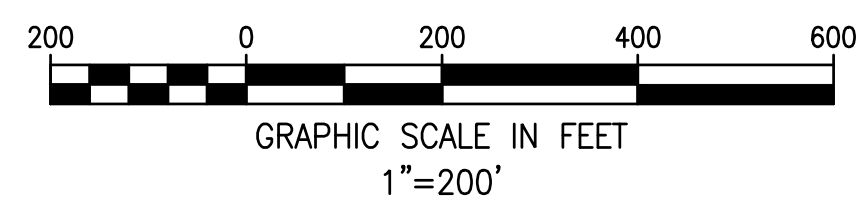


ZONING TABLE

Lot	Size (Acres)	Frontage (feet)	Existing Use	Proposed Use
1	28.5	1610	Forest	Soil extraction
2	19.4	644	Forest	Soil extraction and camp
3	10.9	2537	Forest	Residence and mineral extraction
4	43.5	2537	Forest	Agriculture
ROW	4.7	NA		

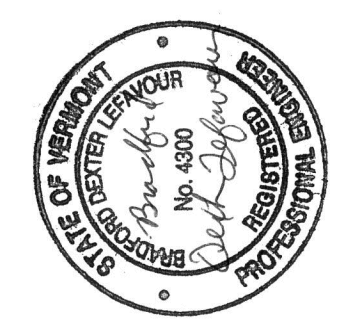
LEGEND

	STA-1	TRAVERSE STATION
	BM-1	BENCHMARK
	TP-1	TEST PIT
	PT-1	PERC TEST
	UP-1	UTILITY POLE
		SEWER MANHOLE
		CATCH BASIN
		WATER SHUT OFF
	IPF	IRON PIPE FOUND
	IRF	IRON ROD FOUND
	IRS	IRON ROD SET
		EXISTING DRILLED WELL
		TREE LINE
		STONE WALL
		FENCE
	W	WATER LINE
	S	SEWER LINE
		PROPERTY LINE
		RIGHT-OF-WAY
		EASEMENT
		EDGE OF PAVEMENT
	100	MAJOR CONTOUR
		MINOR CONTOUR
	100	PROPOSED MAJOR CONTOUR
		PROPOSED MINOR CONTOUR



REVISIONS

New England Consulting Engineers
120 NORTHGATE PLAZA
MORRISVILLE, VERMONT 05660
TEL: (802) 888-5722

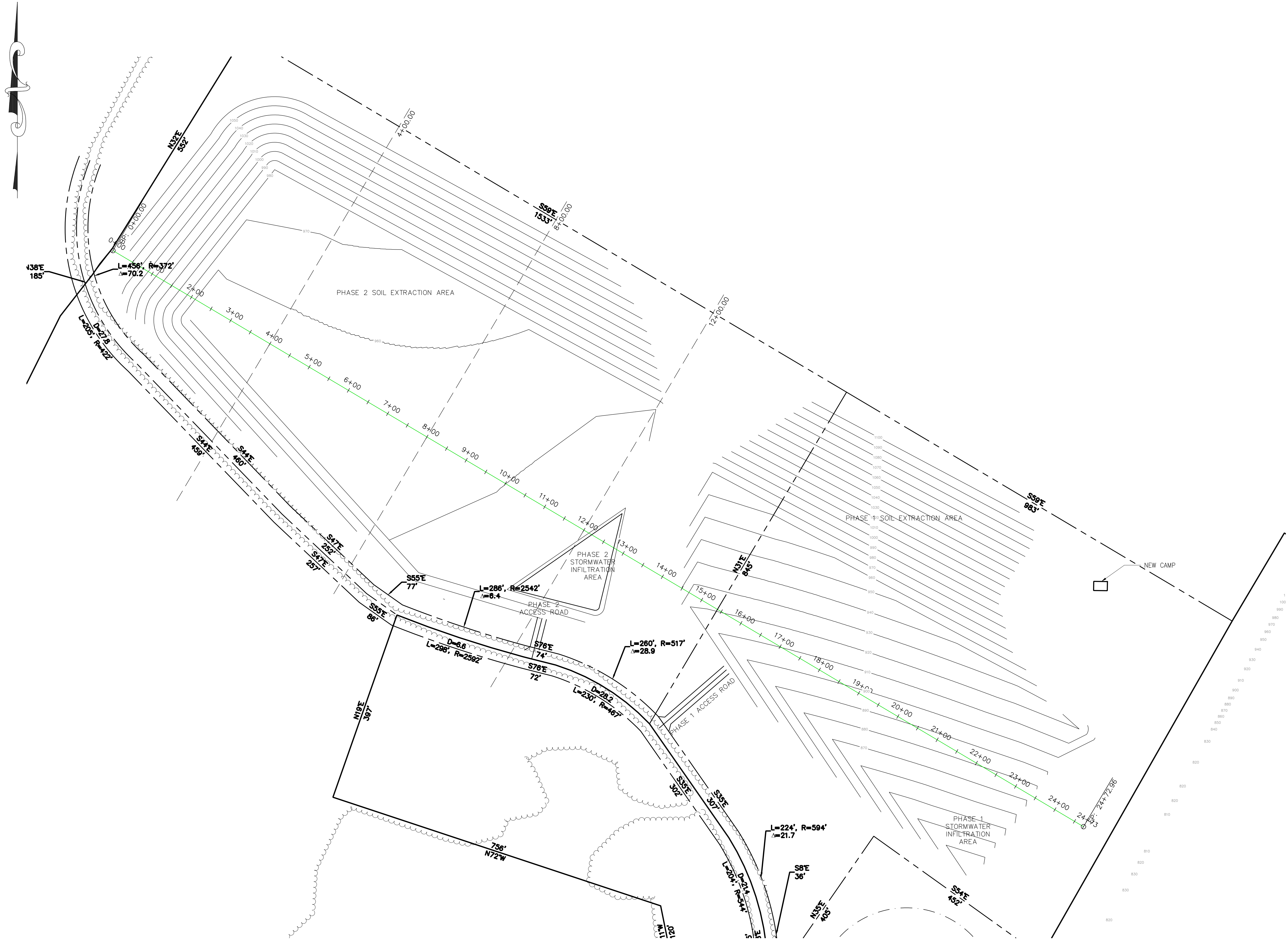


FIVE MOUNTAIN MINERALS
FERLAND PIT ROAD
MORRISTOWN, VERMONT
MIXED USE DEVELOPMENT
OVERALL
PLOT PLAN

PROJECT NO. 983/1119
DESIGNED BY: BDL
DRAWN BY: BDL
DATE: SEP 2025
SCALE: AS NOTED

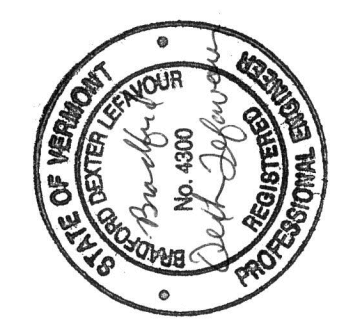
C-1

1 OF 6



REVISIONS

New England Consulting Engineers
 120 NORTHGATE PLAZA
 MORRISVILLE, VERMONT 05680
 TEL: (802) 888-5722



FIVE MOUNTAIN MINERALS
 FERLAND PIT ROAD
 MORRISTOWN, VERMONT
 MIXED USE DEVELOPMENT
 SOIL EXTRACTION AREA
 SITE PLAN

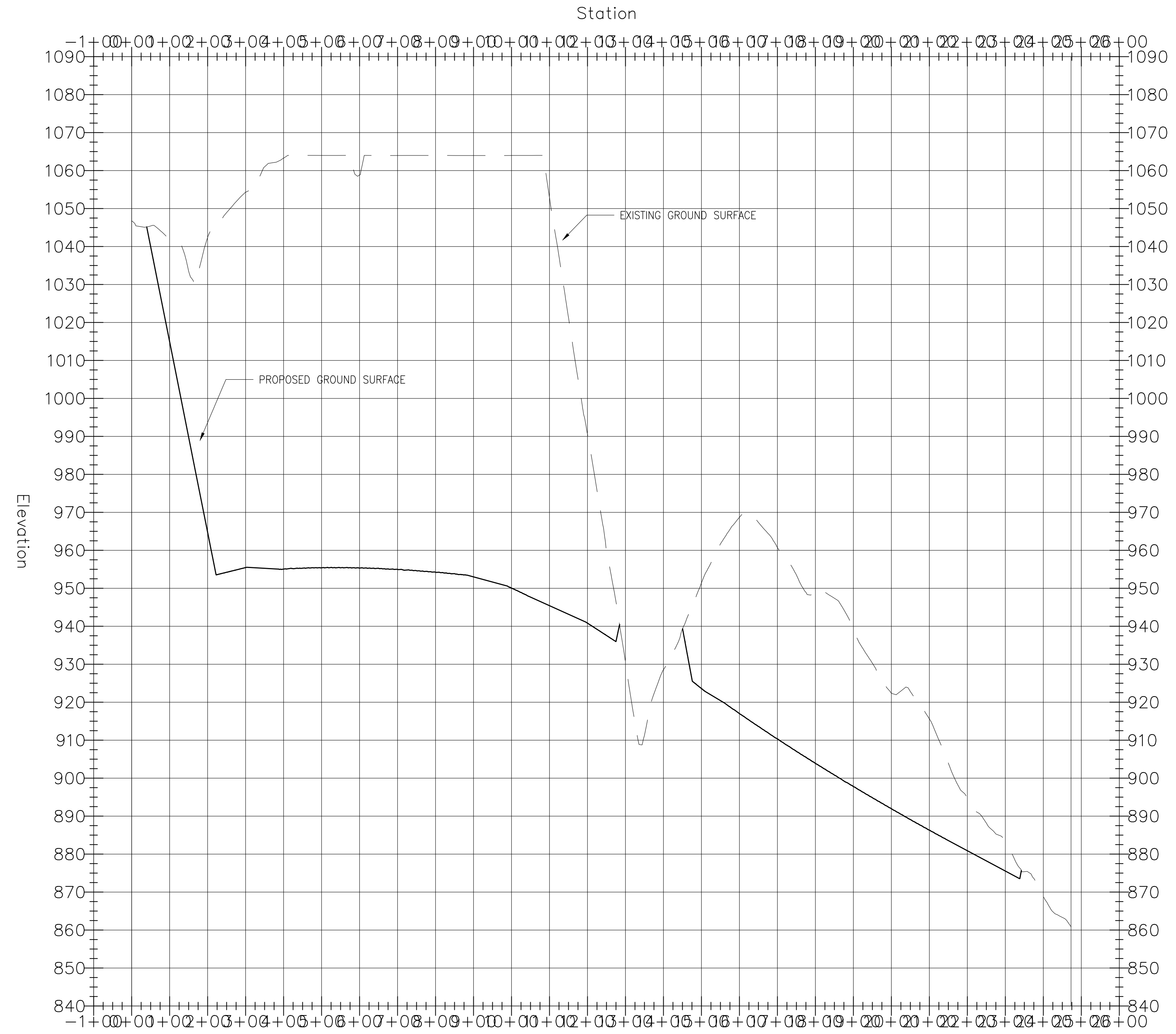
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 DESIGNED BY: BDL
 DRAWN BY: BDL
 DATE: SEP 2025
 SCALE: AS NOTED

C-2

2 OF 6



Alignment - (1) PROFILE



REVISIONS

New England Consulting Engineers
 120 NORTHGATE PLAZA
 MORRISVILLE, VERMONT 05680
 TEL: (802) 888-5722



FIVE MOUNTAIN MINERALS
 FERLAND PIT ROAD
 MORRISTOWN, VERMONT
 MIXED USE DEVELOPMENT
 SOIL EXTRACTION AREA
 BASELINE PROFILE

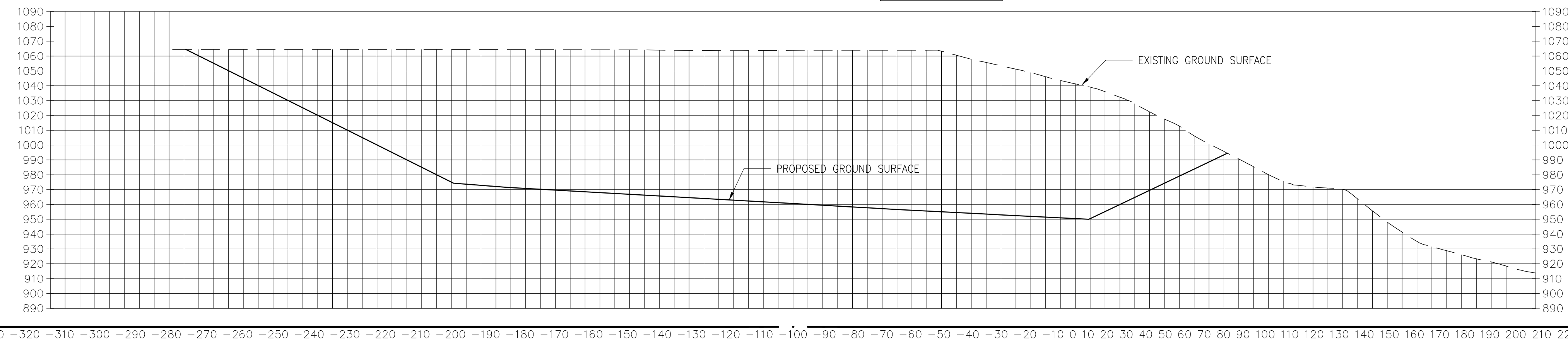
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 DESIGNED BY: BDL
 DRAWN BY: BDL
 DATE: SEP 2025
 SCALE: AS NOTED

C-3

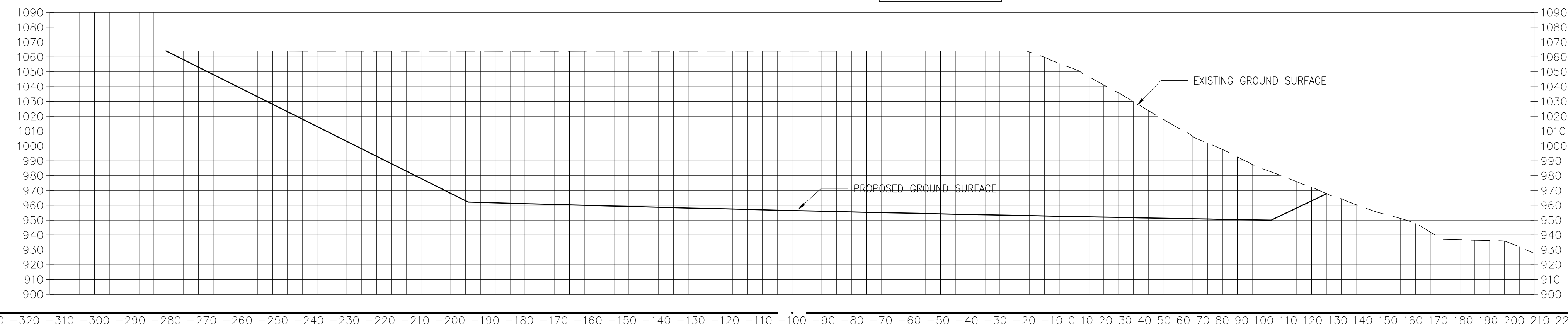
3 OF 6



4+00.00

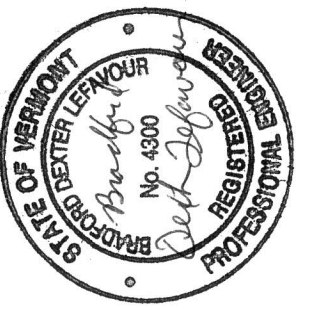


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REVISIONS

New England Consulting Engineers
 120 NORTHGATE PLAZA
 MORRISVILLE, VERMONT 05680
 TEL: (802) 888-5722

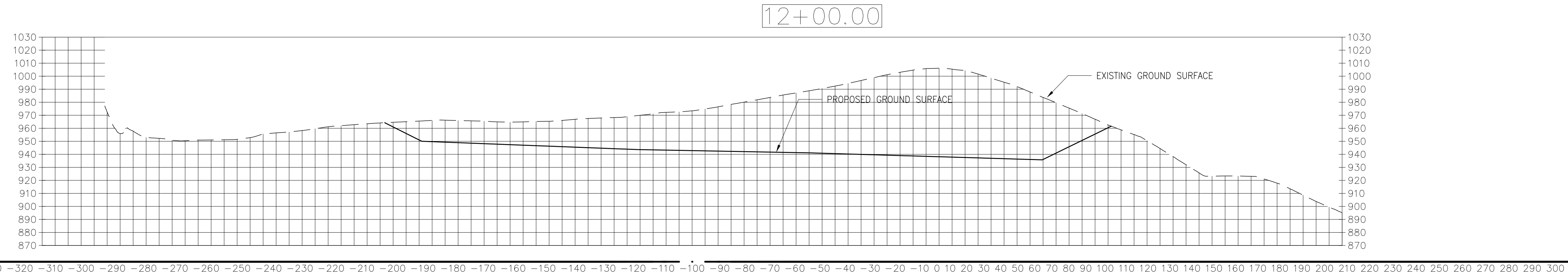


FIVE MOUNTAIN MINERALS
 FERLAND PIT ROAD
 MORRISTOWN, VERMONT
 MIXED USE DEVELOPMENT
 SOIL EXTRACTION AREA
 SECTIONS

PROJECT NO. 983/1119
 DESIGNED BY: BDL
 DRAWN BY: BDL
 DATE: SEP 2025
 SCALE: AS NOTED

C-4

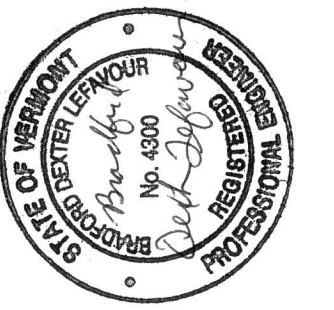
4 OF 6



REVISIONS

**New England
Consulting Engineers**

120 NORTHGATE PLAZA
MORRISVILLE, VERMONT 05680
TEL: (802) 888-5722



FIVE MOUNTAIN MINERALS
FERLAND PIT ROAD
MORRISTOWN, VERMONT
MIXED USE DEVELOPMENT
SOIL EXTRACTION AREA
SECTIONS

PROJECT NO. 983/1119
DESIGNED BY: BDL
DRAWN BY: BDL
DATE: SEP 2025
SCALE: AS NOTED

C-5

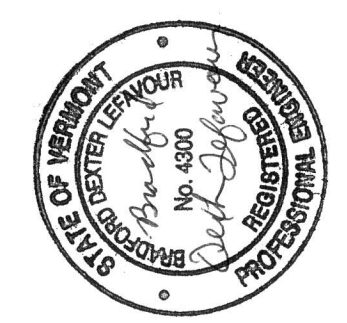
5 OF 6



REVISIONS

**New England
Consulting Engineers**

120 NORTHGATE PLAZA
MORRISVILLE, VERMONT 05680
TEL: (802) 888-5722



FIVE MOUNTAIN MINERALS
FERLAND PIT ROAD
MORRISTOWN, VERMONT
MIXED USE DEVELOPMENT
WATER BOTTLING PLANT
SITE PLAN

PROJECT NO. 983/1119
DESIGNED BY: BDL
DRAWN BY: BDL
DATE: SEP 2025
SCALE: AS NOTED

C-6

6 OF 6



July 8th, 2026, DRB Meeting

Staff Notes

APPLICATION: 2026-59

APPLICANT: Nick Manosh

REQUESTED ACTION: Conditional Use Review

LOCATION: 400 Ferland Pit Road

EXISTING ZONING: Rural Residential Agriculture

PROJECT DESCRIPTION: 2026 -59- Major Subdivision, and Conditional Use Review application submitted by Nick Manosh for a property located at 400 Ferland Pit Road. The Applicant is seeking Major Subdivision Review for a proposed 4 lot subdivision. The lots are as follows: Lot 1. 28.5 acres, Lot 2. 19.4 acres, Lot 3. 10.9 acres, Lot 4. 43.5 acres. The Applicant is also seeking conditional use approval for new gravel pits located on proposed Lots 1. & 2. The Applicant plans to phase the gravel pits in two phases. In addition, the Applicant is seeking to establish a water bottling plant on proposed Lot 3. This project will be reviewed under the 2023 Zoning Bylaws with emphasis on the following Sections: Section 204.5a-b, 485, Article V., 630, 660, 750, 760, 770, and Article VIII.

PARCEL HISTORY:

1. NA

LIST OF APPLICANT SUBMISSIONS:

- A. Application 5-7-26
- B. Narrative 5-7-26
- C. Site Plan 5-7-26

PROCEDURAL INFORMATION:

1. Agenda placed in News and Citizen 6/22/2026
2. Notice placed on the town website and at three locations in town on 6/22/2026
3. Abutters notified on 6/22/2026
4. Notice sent to Applicant 6/22/2026

STAFF COMMENTS (Comments In Bold):

1. 2026 -59- Major Subdivision, and Conditional Use Review application submitted by Nick Manosh for a property located at 400 Ferland Pit Road. The Applicant is seeking Major Subdivision Review for a proposed 4 lot subdivision. The lots are as follows: Lot 1. 28.5



acres, Lot 2. 19.4 acres, Lot 3. 10.9 acres, Lot 4. 43.5 acres. The Applicant is also seeking conditional use approval for new gravel pits located on proposed Lots 1. & 2. The Applicant plans to phase the gravel pits in two phases. In addition, the Applicant is seeking to establish a water bottling plant on proposed Lot 3. This project will be reviewed under the 2023 Zoning Bylaws with emphasis on the following Sections: Section 204.5a-b, 485, Article V., 630, 660, 750, 760, 770, and Article VIII.

2. The lot is located in the Rural Residential Agriculture district at 400 Ferland Pit Road.
3. The Applicant is seeking conditional use review for a special industrial use for a new gravel pit and water bottling and extraction plant located on lot 09-027-01 after it is subdivided.
4. Section 204.a of the 2023 bylaws notes that the special industrial uses are only allowed east of Garfield Road.
5. Section 900 of the bylaws defines special industrial use as the “extraction or processing of earth resources such as rock, stone, sand, gravel, and minerals. These operations are generally incompatible with other uses and require large land areas. The Special Industry use, specifically per §485 of the Bylaws, is only allowed east of Garfield Road between the river (south) and the town line (north).
6. The extraction operation will consist of the removal of 3,000,000 yards of material over the life of the project between proposed lots 1 and 2 and will generate between 40 and 80 truckloads of material a day.
7. The property is located at 400 ferland pit road which is east of Garfield Road.
8. Section 485.1 notes that before approval of any new or proposed extension of a soil, sand, or gravel operation, a performance bond shall be secured from the applicant sufficient to ensure that upon completion of the extraction operations the abandoned site will be left in a safe, attractive and useful condition in the interest of public safety and general welfare. The owner(s) shall submit a plan of proposed improvements to accomplish this end. The bond shall be sufficient to cover the cost of redeveloping the site as a park, lake, recreation area or other usable open space.
9. The Applicants have not proposed any new performance bond for this project. (**The board should consider what an appropriate performance bond would be for this project**)
10. The applicants have not provided a reclamation plan for the site once the extraction has concluded.
11. Section 485.2 The removal of all material shall be conducted so as to result in the improvement of the land, giving due regard to the contours in the vicinity, such as leveling slopes and removing hills. The digging or creating of pits or steep slopes shall not be permitted, unless provision is made to refill such pit. (**The Applicants have not provided a plan to restore the extraction area. The board could consider requiring**



the applicant to provide a plan for site restoration prior to approval or make it a condition of approval. Providing a plan is required to comply with Section 485.2)

12. Section 485.3 notes that the excavation operation sites shall be graded smooth and left in a neat condition. Cut slopes and spoil banks shall not be allowed to remain. The operation site shall have 4" of inches of top soil, fertilized, mulched and seeded so as to establish a firm cover of grass or other vegetation sufficient to prevent erosion under the supervision and to the satisfaction of the Zoning Administrator. **(The Applicants have not provided a plan to restore the topsoil after it has been removed)**
13. Section 485.4 notes that all surface drainage affected by excavation operations shall be controlled by the owner to prevent erosion debris and other loose materials from filling any drainage course, street or private property. All provisions to control natural drainage water shall meet with the approval of the Zoning Administrator. **(The Applicants have not provided an erosion and sedimentation control plan with this project. The plan set shows two stormwater infiltration areas, but no additional details have been provided. The Board could consider requiring more information as to how the stormwater will be managed on site).**
14. Section 485.5 notes that no excavation, blasting or stock piling of materials shall be located within two hundred feet of any street or other property line.
15. The Applicants plan set appears to show extraction within 200 feet of the southern property boundary of proposed lots 1. In addition Ferland Pit road appears to be within 200 feet **(The Applicants plan set does not show a scale bar for page C-2. The only scale bar on this plan set is located on page C-1 which shows 1 in = 200 feet. If this scale is intended to be used for the whole plan set it appears that the extraction area is within 200 feet of both the southern property boundaries of lots 1 and Ferland Pit Road. The applicants should confirm this distance and reduce the extraction area if it is within 200 feet of this lot line for Phase 2. If the scale on page C-1 is incorrect, then the applicants should provide an updated scale for page C-2.)**
16. Section 485.6 notes that no power-activated sorting machinery or equipment shall be located within three hundred feet of any street or other property line, and all such machinery shall be equipped with satisfactory dust elimination devices.
17. The Applicant site plan does not show the location of any extraction machinery. **(The Applicants should confirm that no extraction machinery will be located within 300 feet of any property boundary. This is more of a concern for phase 2 of the project).**
18. Section 485.7 notes that all excavation slopes in excess of 1:2 shall be adequately fenced as determined by the Zoning Administrator.
19. The applicants site plans shows a slope in compliance with Section 485.7
20. The Applicants site plan appears to comply with Section 485.7 of The Bylaws.
21. Section 485.9 notes that stripping of topsoil for sale or for use on other premises, except as may be incidental to a construction project, shall be prohibited. **(Lots 1 and 2s principle use is special industrial use the applicant cannot sell topsoil from either**



- lot. The extraction is not incidental to construction but the main focus of the use. The applicants have not shown where they plan to store the topsoil from this extraction process. The Applicants should clarify the storage location for the topsoil for this project.)**
22. The project also calls for a mixed-use lot with a water extraction / bottling facility and a single family residence on proposed Lot 3. The applicants feel that this falls under the definition of Special industrial use. They are also calling for a residential use on this lot with the water bottling facility.
 23. **Staff disagrees with the Applicants assessment that water extraction and bottling is allowed under the special industrial use for the following reasons:**
 - a. **Section 485 notes that “The removal of rock, soil, sand, or gravel for sale (except when incidental to proposed development on the same parcel) shall be allowed via the Special Industry Use, and be permitted by the DRB, after a plan for the rehabilitation of the site approved at a public hearing.**
 - b. **This section talks about the extraction of solid a material not water.**
 - c. **Section 900 defines Special Industrial Use as the extraction or processing of earth resources such as rock, stone, sand, gravel, and minerals. These operations are generally incompatible with other uses and require large land areas. The Special Industry Use, specifically per §485 of the Bylaws, is only allowed east of Garfield Road between the river (south) and the town line (north).**
 - d. **The definition of Special Industrial Use makes no mention of water. While it does note minerals, it makes no mention of minerals in water. The intent clearly is to include solids with no mention of liquids.**
 - e. **Section 900 also notes that the Special Industrial Use is generally incompatible with other uses.**
 - f. **Therefore, residential use and special industrial use are not compatible on the same lot.**
 24. **Section 485.10 notes that the DRB may attach any additional conditions as it may find necessary for the safety and general welfare of the public. (The Board should consider whether the applicants have provided sufficient information to demonstrate that there will be no impact to the general safety and welfare of the public. The Board could also consider what restriction needed to be placed on the water extraction piece of the project should the board determine that it is an allowed use.)**
 25. The project shall be subject to the site plan regulations noted in Section 500 of The Bylaws.
 26. The project complies with the following Sections of 502: a, b, d, e, f, g, h, i,
 27. Section 502.c notes that you are required to put a bar scale on all the plan sets only page C-1 has a bar scale however none of the other pages have a bar scale.
 28. Section 505 notes that landscaping shall be required for any non-residential uses.



29. The Applicants have not provided a landscaping plan for the project to screen the earth extraction area.
30. The Applicants are not proposing changes to the existing landscaping. **(The Board may want to consider additional planting to help mitigate noise if the board deems it necessary) .**
31. The Project will be subject to any of the requirements noted in Section 630 of The Bylaws.
32. Section 632 notes that the proposed project cannot have an adverse impact on any of the following:
 - a. 632.1 Community Facilities
 - b. 632.2 The character of the effected area
 - c. 632.3 Reduction in the ability of an area to hold water
 - d. 632.4 Will not result in undue water waste, notice or air pollution **(The Applicants have not submitted an erosion control plan or storm water plan for the project. They have also not provided a plan to control for potential immersion that could impact abutting residential properties.)**.
33. The Applicants are also proposing a major subdivision with this project.
34. The project is located in the Rural Residential Agriculture Zoning District (RRA).
35. The parent parcels are lots 09-027-01 and 09-027-02 a is which when combined is 102.3 acres.
36. Section 204.5b notes that the minimum lot size for the RRA district is 80,000 square feet or 1.8 acres.
37. The Applicants' materials notes that all the proposed lots meet the minimum lot size requirements for the RRA.
38. Section 710.2 of The Bylaws notes that any subdivision creating more than two lots is considered a major subdivision and are subject to the Planned Unit Development regulations noted in Section 510 of The Bylaws.
39. Section 510.5.b notes that the minimum lot size for a PUD is reduced by 50% provided that 50% of the developable property is conserved.
40. The Applicants lots all meet the current minimum lot Size for the RRA
41. Section 510.6a notes that a minimum of 50% of the lot area shall be permanently conserved as open space on its own lot which in this case is 51.15 acres.
42. **Staff notes that the applicant has not at the project meet the 50% conservation requirement noted in Section 510.6a for the following reasons:**
 - a. **The Applicants narrative and site plan notes that the total project acres is 102.3 acres.**
 - b. **As noted above lot 4 is 43.5 acres which is 7.65 acres short of the 50% requirement noted in Section 510.6a.**
 - c. **Section 510.6a notes the following:**



- i. **A minimum of 50% of the proposed development area shall be permanently protected as open space and shown on the Final Plat and said open space shall be placed on a separate parcel from the building lots.**
 - d. **Section 900 of the bylaws notes that the definition of development includes “The division of a parcel into two or more parcels”.**
 - e. **Therefor the development area noted in Section 510.6a would include all 102.3 acres of both lots combined the original lot.**
 - f. **To comply with the mandatory 50% conserved requirement noted in Section 510.6a, the Applicants would need to conserve a minimum of 21 acres.**
 - g. **The Board should consider whether to continue the application until the subdivision has been reconfigured to meet the 50% conserved requirement or require the applicant to submit an updated plat to the Zoning Administrator prior to recording the final plat.**
43. Section 510.6.b notes that half of the lots need to abut the opens space lot.
44. The Applicants site plan shows that half of the lots abut Lot 4 even though it is separated by Ferland Pit Road.
45. Section 510.6.k notes that ownership of the open space has to be dedicated to the town, the towns conservation commission or a homeowner’s association (HOA).
46. **The Applicants have not provided draft declaration of covenants and conservation easements that outline how the open space is to be maintained. (The Applicants will have to provide a copy of these documents prior to approval.)**
47. Section 510.6.l notes that the town shall be granted a maintenance easement to ensure perpetual maintenance of the open space.
48. The applicants have not supplied a draft conservation easement for the town.
49. Section 510.6.m notes the dedicated open space needs to be clearly delineated on the ground with permanent markings.
50. **The Applicant narrative does not note how the open space will be delineated on the site plan (the Applicants need to note how the open space will be delineated on the ground.)**
51. Section 510.6.n notes that walk ways, bike paths and trails shall be provided where feasible to link the lots to the proposed open space.
52. **The Applicants have not indicated how these proposed lots will be connected to the proposed open space. note in there narrative that the proposed roadway and private driveways can links all of the lots to the proposed open space. (The Board will need to consider whether the applicant should provide additional trails to the open space other than the proposed roadway.)**
53. The Applicants plat will be subject to the plat requirements noted in Section 770 of The Bylaws.
54. The Applicants plan set complies with the following Section of 770: a-j



55. Section 770.k notes that the lots need listers parcel ids need to be shown on the plat.
56. The Applicants plat does not note lister parcel ids.
57. The Applicants have not provided a location of a water supply available for firefighting as noted in Section 770.t. **(The Applicants should provide additional documentation from Morrisville Fire Department or provided a source onsite capable of servicing the subdivision. Noting that the water source is sufficient to protect this subdivision.)**
58. This project is subject to the Subdivision General Requirements & Design Standards noted in Article VIII of The Bylaws.
59. Section 800 notes all roads shall be built according to the regulations found in the Morristown Road Policy.
60. The project is serviced by previously approved Ferland Pit Road
61. The project is subject to the Subdivision standards noted in Section 810 of the Bylaws.
62. Based on the Applicants submittals, the project complies with Section 810 of The Bylaws. **(The Project is being proposed is suitable for building proposed and is outside of any wetland or wetland setback. It does contain a deer wintering area but it is located on lot 4 which is designated for agriculture and silviculture. The town plan does allow special industrial uses in the area that this project is located in. The Board will need to determine whether the proposed water bottling facility complies with the town plan.**
63. The project is subject to the street regulations noted in Section 820 of the Bylaws.
64. The project is serviced by a preexisting road which complies with Section 820 of The Bylaws.
65. The project is subject to the water and wastewater regulations noted in Section 830 of the bylaws.
66. The Applicants have not provided wastewater permits for all the lots. **(Staff recommends that the DRB imposes a condition on an approval that wastewater permits are required prior to the issuance of a zoning permit as allowed by Section 830.**
67. The project is not subject to the sidewalk regulations noted in Section 835 as it is located in the RRA zoning district which does not require sidewalks as noted in the Morristown Sidewalk Policy.
68. The project is subject to the Utility regulations noted in Section 840 of the Bylaws.
69. Section 840.1 notes that utility easements are required to be shown **(The Applicants site plan does not show utility easements.)**
70. Section 840.2 notes that all subdivisions require provisions for firefighting, stormwater management and electrical power.
71. Section 840.7 notes that the applicant shall coordinate the design of the electrical utilities with Morrisville Water in Light.
72. The Applicants have not indicated that they are coordinated the design of the electrical utilities with Morrisville Water and Light .



73. The Applicants project is subject to the drainage improvements for major subdivision noted in Section 850 of The Bylaws.
74. The Applicants have not submitted an erosion and sedimentation control plan for this project.
75. The Applicants project is subject to the site preservation standards noted in Section 860 of The Bylaws.
76. The Applicants have not submitted an erosion and sedimentation control plan with this project as required by Sections 860.1 and 860.2.
77. The Applicants have not provided additional screening as noted in Section 860.3.
78. The applicants are required to provide copies of any community agreements required to maintain shared infrastructure and open space.
79. The Applicants have not provided draft copies of these agreements.

OUTSTANDING ITEMS:

1. Performance Bond as required by Section 485.1
2. Site restoration plan as required by Section 485.2 & Section 485.3
3. Erosion and sedimentation control plan as required to comply with Section 485.4
4. Storm water plan demonstrating compliance with Section 485.4
5. Scale bar as noted in Section 485.5
6. Location of topsoil storage 485.9
7. Listers parcel dissection 770.k
8. Plat showing compliance with the 50% conserved land requirement in Section 510.a

ITEMS FOR DRB CONSIDERATION:

1. Have the applicants provided enough information to ensure that abutting residential properties will not be impacted by emissions?
 - a. What additional information should the applicants provide to confirm this?
2. What additional conditions if any would the board like to put on this project as allowed under Section 636 of the Bylaws.

RECOMMENDATIONS TO THE DRB

1. Continue with the application until the outstanding items have been addressed:
 - a. Performance Bond as required by Section 485.1.
 - b. Site restoration plan as required by Section 485.2 & Section 485.3.
 - c. Erosion and sedimentation control plan as required to comply with Section 485.4.
 - d. Storm water plan demonstrating compliance with Section 485.4.
 - e. Scale Bar Section 485.5.
 - f. Storage area for topsoil as noted in Section 485.9
 - g. Landscaping plan noted in Section 505.



- h. Redesigned subdivision showing 50% of the land as permanently conserved. Section 510.6a.
- i. HOA agreements and covenants to conserve land as noted in Section 510.6k.
- j. Lists Parcel ids as noted in Section 770.
- k. Letter From Morrisville Fire department as noted in Section 770.t.
- l. Utility easements as notes in Section 840.1.