



**TOWN OF MORRISTOWN DEVELOPMENT REVIEW BOARD
WARNED PUBLIC HEARING
COMMUNITY MEETING ROOM OF THE OLD TEGU THEATER
43 Portland Street in Morrisville, VT 05661
6:00 PM Wednesday, January 14, 2026**

[Join Zoom Meeting](#) or by phone join via conference call (audio only): 1 (646) 558-8656 | Meeting ID: [810 342 4528](#) | Passcode 05661

The meeting will be live streamed on the Town of Morrystown's website:
<https://www.morristownvt.gov/community/page/meetings-agendas-minutes>

I. CALL MEETING TO ORDER

II. PROPOSED CHANGES TO THE AGENDA

III. APPROVE PRIOR MEETING MINUTES

1. Approve minutes from 12/10/25.

IV. PUBLIC COMMENTS

V. HEARING OF APPEALS AND DEVELOPMENT APPLICATIONS

1. **#2026-01-** Major Subdivision Review submitted by Tyler Mumley, applying on behalf of Virginia Mainus, for a proposed 5 lot Planned Unit Development (PUD). The project includes a total of ±8.73 acres (existing parcels 16031-1-1, 16031-1-2, and 16031-1-3). The properties in question are located at 0 Lawrence Farm Road and are located in the Rural Residential / Agriculture Zoning District (RRA). The project will be reviewed under the 2023 Morrystown Zoning and Subdivision Bylaws. As a proposed Conservation Subdivision PUD, there will be a proposed open space lot, lot 5, consisting of 4.39 acres, which is more than 50% of the available land. The remaining land, 4.34 acres, will be subdivided among 4 new lots.

VI. ACTION ITEMS TO BE CONSIDERED

VII. OTHER BUSINESS

VIII. ADJOURN



**DEVELOPMENT REVIEW BOARD MEETING MINUTES
OF OCTOBER 22, 2025**

Members: Gary Nolan, Lenny Wing, Susanna Burnham, Christy Snipp, Mary Ann Wilson, Donald Blake, Jr.

Absent: Paul Trudell

ADMINISTRATION and STAFF: Tyler Machia Zoning and Planning Administrator

PARTICIPANTS/GUESTS: Jack Haagensen, Stephen Cohen, Gary & Debbie Mercy, Ethan & Elisha Coffey, Carol Lunber, Charles Cooley, Christien Pepe, Chuck Pepe, Sheila Tarbox, Tony Cote, Lisa Oniel, Mary Goderwis, Reid Westort, Anna Kern, Samuel Terhune, Doug Lisa Cross, Drew Eberts, Kaleb Magoon, Jerry Throne, Hilary Warner, Juliet Oniel, Sandra Conklin, Robin Cute, Tom Rogers

CALL MEETING TO ORDER

The meeting was called to order at 6:03 PM

PROPOSED CHANGES TO THE AGENDA

The Chair asked if there were any proposed changes to the agenda; there were none.

APPROVE PRIOR MEETING MINUTES

1. Approve Minutes from 9-24-25

Donald Blake, Jr moved, seconded by Mary Ann Wilson, to approve the minutes from September 24, 2025. The motion passed (6/0)

PUBLIC COMMENTS

HEARING OF APPEALS AND DEVELOPMENT APPLICATIONS

- # 2025-106 Conditional Use and possible Subdivision Review. The Applicants, Vermont Land Use Planning LLC, are applying for Conditional Use Review to convert a non-owner-occupied short-term rental use of the former Muddy Moose property located at 2930 Cote Hill Road parcel ids 03-002 & 03-002-2 to multi-family housing. The non-owner-occupied short-term rental is a legally nonconforming use that was previously permitted by the DRB. The plan calls for converting the cabins over to year-round occupancy which would create a multi-family housing use on the property. This multi-family housing use is not a permitted use in the Rural Residential Agriculture district (RRA). However, Section 437 of the Morrystown Zoning and Subdivision Bylaws (The Bylaws) allows for a preexisting non-conforming use to be converted to another legally non-conforming use provided that the DRB approves the change in use through Conditional Use Review. The DRB will consider whether or not the use is more compatible with the surrounding area than the existing non-conforming use. The Applicants could potentially be required to adjust the boundaries of parcels 03-002 & 03-002-2 to make sure all of the cabins are located on parcel 03-002-2. If this is deemed necessary, the Zoning Administrator will be requiring this boundary adjustment to be reviewed as a subdivision as noted in Section 795.2 of The Bylaws and will be reviewed as a Major Subdivision along with the previously mentioned conditional use review. The project will be reviewed under the 2023 Morrystown Bylaws.**

Application #2025-106. Todd Thomas of Vermont Land Use Planning presented the proposal for conditional use and subdivision review of the former muddy moose property located at 2930 Cote Hill Road parcel ids 03002 & 03002-2. Thomas noted that the objective was to convert the legally non-conforming use of a non-owner-occupied short-term rental facility into owner-occupied multi-family housing (year-round occupancy). Since multi-family housing is not a permitted use in the Rural Residential Agriculture (RRA) district, the conversion was sought under Section 437 of the Morristown Zoning and Bylaws, which permits converting a pre-existing non-conforming use to another non-conforming use if the Development Review Board (DRB) deems the change more compatible with the surrounding area.

A key component of the plan is the preservation of undeveloped land. The proposal is contingent upon the sale of the 18-acre parcel (containing the existing seven cabins, a three-bedroom home, and a recreation building) to Down Street Housing and Community Development, while the adjacent 150+ acres of undeveloped land are to be permanently conserved by the Stowe Land Trust.

The project received support from groups like Lamoille County Planning Commission and the Morristown Conservation Commission. Tom Rogers, Executive Director of the Stowe Land Trust, confirmed that if the sale proceeds, the 150+ acres would be permanently conserved and opened to the public for uses such as hiking, hunting, and fishing, with plans for a small, basic gravel parking lot to serve as a trailhead.

Stephen Cohen from Down Street Housing emphasized that their mission is centered on owner-occupied housing. He explained that the units would be sold as shared equity homes to income-qualified, middle-income buyers (80–120% AMI) who work locally. Down Street subsidizes the down payments, ensuring that the affordability of the units remains "in perpetuity" for subsequent buyers, as this arrangement runs with the land via VHCB special conditions.

Concerns were raised by residents about the lack of documentation confirming the owner-occupancy mandate and the potential for new owners to engage in short-term rentals. The ZA confirmed that if the cabins were sold individually, those owners, provided the unit was their principal Vermont property, could legally rent them out short-term unless the HOA documentation prohibited it. Several members of the public requested that the approval be conditional upon two main points: that the units be permanently restricted to the seven cabins plus the main house (and potentially the recreation building, making nine total potential dwellings), and that the HOA bylaws prohibit rentals, including short-term rentals. The applicant confirmed they were "okay" with accepting a condition of approval requiring the submission of HOA documents for review, which could restrict rentals and cap the number of units.

Area residents voiced concerns about speeding traffic on Cody Hill Road and the impact of cars accessing the Stowe Land Trust trail network. Several members were especially troubled by the possibility of cars parking in the cul-de-sac/turnaround that he helped establish. Stowe Land Trust representatives guaranteed that the public access parking would be an off-site gravel lot, assuring the DRB and residents that there would be no public parking on the cul-de-sac.

Motion by Susanna Burnham seconded by Mary Ann Wilson, to move the application to deliberative session. The motion passed (6/0)

ACTION ITEMS TO BE CONSIDERED

OTHER BUSINESS

ADJOURN

Meeting adjourned 7:38 PM

Please note all minutes are in Draft form and are subject to approval at the next Development Review Board meeting.



December 12th, 2025

Tyler Machia, Zoning Administrator
Town of Morristown
43 Portland Street, Morrisville, VT 05661

Subject: Mainus Property, Lawrence Farm Road
Proposed 5-Lot Conservation Subdivision PUD

Project #25030

Dear Tyler,

Please find attached an application and associated site plan and details for Final Plat/Plan review by the Development Review Board (DRB). This application is focused on a proposed 5-Lot Planned Unit Development (PUD), as a Conservation Subdivision, of the existing lands of the original Lots 1, 2, and 3 of the Palmer Subdivision from 2005, along Lawrence Farm Road in Morristown.

The project includes a total of ± 8.72 acres (existing Lots 1, 2, and 3). As a proposed Conservation Subdivision PUD, there will be a dedicated parcel for Open Space. The remaining land will be subdivided among four (4) new lots. Proposed lots are outlined below:

- Proposed Lot 1 = ± 0.93 acres
- Proposed Lot 2 = ± 0.92 acres
- Proposed Lot 3 = ± 1.05 acres
- Proposed Lot 4 = ± 1.44 acres
- Proposed Lot 5 = ± 4.39 acres of Open Space (>50% of project area)

The below information provides an explanation on all applicable requirements for this subdivision:

Section 510: PUD/Conservation Subdivision

- o Per subsection 5, the Open Space Lot 5 includes over 50% of the property area, therefore a reduction in dimensional requirements will be applied to this project. The site plan depicts the applicable reductions in dimensional requirements.
- o Per subsection 6,
 - o The Open Space lot abuts half of the proposed residential lots.
 - o The Open Space lot will be conveyed to the Town
 - o A draft Maintenance Easement Agreement has been provided as a supplemental document.
 - o Proposed Open Space demarcation is shown on the site plan.
 - o The requirement for walkways, hiking trails, or bicycle paths for none abutting lots because they can sufficiently access the open space via individual driveways and the shared private road.

Section 800: Requirements & Design Standards

- o All proposed streets and infrastructure displayed on the site plan will be installed correctly. All proposed items are in accordance with the standards, specifications and procedures set forth in the regulations. A performance bond is not expected to be required.

Section 810: Subdivision Standards

- The land is of such character that it can be used for the intended purposes without undue adverse impact on public health or safety, the environment, neighboring properties, or the rural and historic character of the community.
- The proposed subdivision is residential. All residential structures will conform to the applicable building and energy codes set forth by the Town and the State.
- The property includes two separate Class II wetlands. This proposed subdivision will not have any impacts on these wetlands or their 50' buffers. Tree clearing, rock outcroppings, other water bodies and natural features are not expected to be impacted as part of this project.

Section 820: Streets

- A private road is proposed as part of this subdivision. Road design has been done in accordance with the Town regulations. A 70ft diameter cul-de-sac has been provided for Fire Protection Services.
- A road name approval by the Selectboard is process and will be provided as soon as possible.

Section 830: Water supply & Wastewater Disposal

- A State Wastewater permit is applicable and will be provided as soon as possible.

Section 840: Sidewalks & Street Lights

- Not applicable (rural development).

Section 835: Utilities in Major Subdivisions

- The site plan depicts adequate easements for utilities.
- Power supply has been evaluated. A letter from MWL has been provided as a supplemental document.
- Fire Protection is currently being evaluated with the Morristown Fire Chief.

Section 850: Drainage Improvements

- The site plan depicts adequate surface drainage for the entire subdivision.
- Stormwater Discharge permits will be obtained, if applicable, prior to issuance of any building permit.

Section 860: Site Preservation and Improvements

- The site plan depicts adequate erosion control measures for the entire subdivision.
- Screening/landscaping is not applicable because proposed subdivision is surrounded by residential settlement of similar intent and previous residential subdivisions.

Section 860: Subdivision Organizations and Restrictions

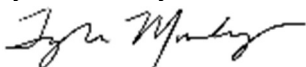
- A draft Declaration of Covenants has been provided as a supplemental document.

As described above, the proposed project is expected to meet all applicable requirements for a Conservation Subdivision/Planned Unit Development in the RRA Zoning District.

Please review and let us know if you have any questions or comments.

Sincerely,

Tyler Mumley, P.E.



Mumley Engineering, Inc.

TOWN OF MORRISTOWN/VILLAGE OF MORRISVILLE
SUBDIVISION PERMIT APPLICATION

Tax Map Number: 16031-1-3, 16031-1-2, 16031-1-1 Permit Number: _____
XX

All questions **Must** be completed in full or application will be **Denied**, Please print or type information

Subdivision Name: Lawrence Road Subdivision

E-911 Property Address: 0 Lawrence Road

Property Owner: Virginia Mainus

Mailing Address: 1152 South Road, Westfield PA 16922

Applicant (if different than owner): Same

Mailing Address: _____

Telephone: Work: (716) 208-2366 Home: _____ Email: shellymainus@gmail.com

Engineer of Plan: Tyler Mumley, Mumley Engineering, Inc.

Mailing Address: PO Box 68, Morrisville VT 05661

Telephone: 802-851-8882 Email: tyler@mumleyinc.com Zoning District: RRA

Total Acreage: 8.73 Number of Lots: 5 Acreage per Lot: ±4.39 ±1.44
±1.11 ±0.95 ±0.84

Road Frontage: _____ Length of Internal Road: _____

Act 250 Applied For: Y State Subdivision Applied For: Y Easements/Rights-of-Way: Y
Are They Shown on Plat: Y PUD: Y Number of Units: _____ Erosion Plan: Y

Description of Project: _____

Merging of existing Lots 16031-1-3, 16031-1-2, 16031-1-1 to create new 5-lot subdivision. Lot 1 of ±0.84 acres,

Lot 2 ±0.95 acres, Lot 3 of ±1.11 acres, Lot 4 of ±1.44 acres, and Lot 5 of ±4.39-acres. Lot 5 will be left as open space.

The undersigned hereby requests a hearing for the proposed subdivision described above. Any permit issued as a result of this application shall be null and void in the event of misrepresentation or failure to file a survey plat of the subdivision within 180 days of approval.

Virginia Mainus
Signature of Owner

Tyler Mumley
Signature of Applicant

11/21/25
Date Submitted



320 feet Abutters List Report

Morristown, VT
December 12, 2025

Subject Property:

Parcel Number: 160310102
CAMA Number: 160310102
Property Address: 0 LAWRENCE ROAD

Mailing Address: MAINUS VIRGINIA
1152 SOUTH ROAD
WESTFIELD, PA 16922

Abutters:

Parcel Number: 1603001
CAMA Number: 1603001
Property Address: 35 EVERGREEN LANE

Mailing Address: MEYER TEDRA CHEN PEIJIN
35 EVERGREEN LANE
MORRISVILLE, VT 05661

Parcel Number: 1603002
CAMA Number: 1603002
Property Address: 35 EVERGREEN LANE

Mailing Address: MEYER TEDRA CHEN PEIJIN
35 EVERGREEN LANE
MORRISVILLE, VT 05661

Parcel Number: 1603002
CAMA Number: 1603002
Property Address: 32 EVERGREEN LANE

Mailing Address: CUSSON CLAUDIA
32 EVERGREEN LANE
MORRISVILLE, VT 05661

Parcel Number: 1603002
CAMA Number: 1603002
Property Address: 35 EVERGREEN LANE

Mailing Address: MEYER TEDRA CHEN PEIJIN
35 EVERGREEN LANE
MORRISVILLE, VT 05661

Parcel Number: 1603002
CAMA Number: 1603002
Property Address: 32 EVERGREEN LANE

Mailing Address: CUSSON CLAUDIA
32 EVERGREEN LANE
MORRISVILLE, VT 05661

Parcel Number: 1603003
CAMA Number: 1603003
Property Address: 82 EVERGREEN LANE

Mailing Address: MOORE LUCAS & GERHART JESSICA
82 EVERGREEN LANE
MORRISVILLE, VT 05661

Parcel Number: 1603004
CAMA Number: 1603004
Property Address: 119 EVERGREEN LANE

Mailing Address: SAVAGE JULIANNA MARGARET
119 EVERGREEN LANE
MORRISVILLE, VT 05661

Parcel Number: 1603005
CAMA Number: 1603005
Property Address: 100 EVERGREEN LANE

Mailing Address: DODGE LEWIS H IV & ERIKA L
100 EVERGREEN LANE
MORRISVILLE, VT 05661

Parcel Number: 1603101
CAMA Number: 1603101
Property Address: 0 LAWRENCE ROAD

Mailing Address: PALMER RICHARD
575 WILLOW GROVE RD
STONY POINT, NY 10980

Parcel Number: 160310101
CAMA Number: 160310101
Property Address: 0 LAWRENCE ROAD

Mailing Address: MAINUS VIRGINIA
1152 SOUTH ROAD
WESTFIELD, PA 16922



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320 feet Abutters List Report

Morristown, VT
December 12, 2025

Parcel Number: 160310103
CAMA Number: 160310103
Property Address: 0 LAWRENCE ROAD

Mailing Address: MAINUS VIRGINIA
1152 SOUTH ROAD
WESTFIELD, PA 16922

Parcel Number: 160310104
CAMA Number: 160310104
Property Address: 0 LAWRENCE ROAD

Mailing Address: PALMER RICHARD
575 WILLOW GROVE RD
STONY POINT, NY 10980

Parcel Number: 16032
CAMA Number: 16032
Property Address: 147 SUGAR HOUSE LANE

Mailing Address: MOEYKENS CHRISTOPHER S &
ELIZABETH M
147 SUGAR HOUSE LN
MORRISVILLE, VT 05661

Parcel Number: 1603202
CAMA Number: 1603202
Property Address: 672 LAWRENCE ROAD

Mailing Address: WHITLEY REALTY TRUST OF 2008
WHITLEY ROBERT B & JANET A -
TRUSTEES
10 PINDALE LANE
CANTON, MA 02021

Parcel Number: 16033
CAMA Number: 16033
Property Address: 32 SUGAR HOUSE LANE

Mailing Address: SABATASO TRAVIS SABATASO
CHRISTINA
32 SUGAR HOUSE LN
MORRISVILLE, VT 05661

Parcel Number: 1603302
CAMA Number: 1603302
Property Address: 500 LAWRENCE ROAD

Mailing Address: DEMAR CARMEN JUDITH TRUST -
TRUSTEE
500 LAWRENCE ROAD
MORRISVILLE, VT 05661

Parcel Number: 1603305
CAMA Number: 1603305
Property Address: 500 LAWRENCE ROAD

Mailing Address: DEMAR CARMEN JUDITH TRUST -
TRUSTEE
500 LAWRENCE ROAD
MORRISVILLE, VT 05661

Parcel Number: 1603305
CAMA Number: 1603305
Property Address: 500 LAWRENCE ROAD

Mailing Address: DEMAR CARMEN JUDITH TRUST -
TRUSTEE
500 LAWRENCE ROAD
MORRISVILLE, VT 05661

Parcel Number: 1603305
CAMA Number: 1603305
Property Address: 500 LAWRENCE ROAD

Mailing Address: DEMAR CARMEN JUDITH TRUST -
TRUSTEE
500 LAWRENCE ROAD
MORRISVILLE, VT 05661

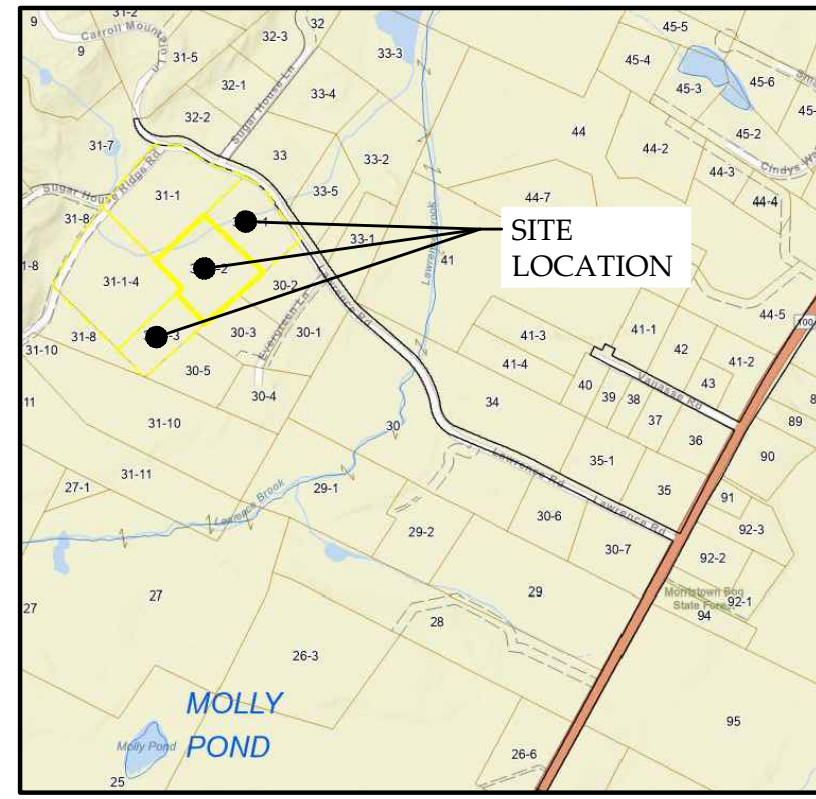
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CAMA Number: 1603305
Property Address: 500 LAWRENCE ROAD

Mailing Address: DEMAR CARMEN JUDITH TRUST -
TRUSTEE
500 LAWRENCE ROAD
MORRISVILLE, VT 05661



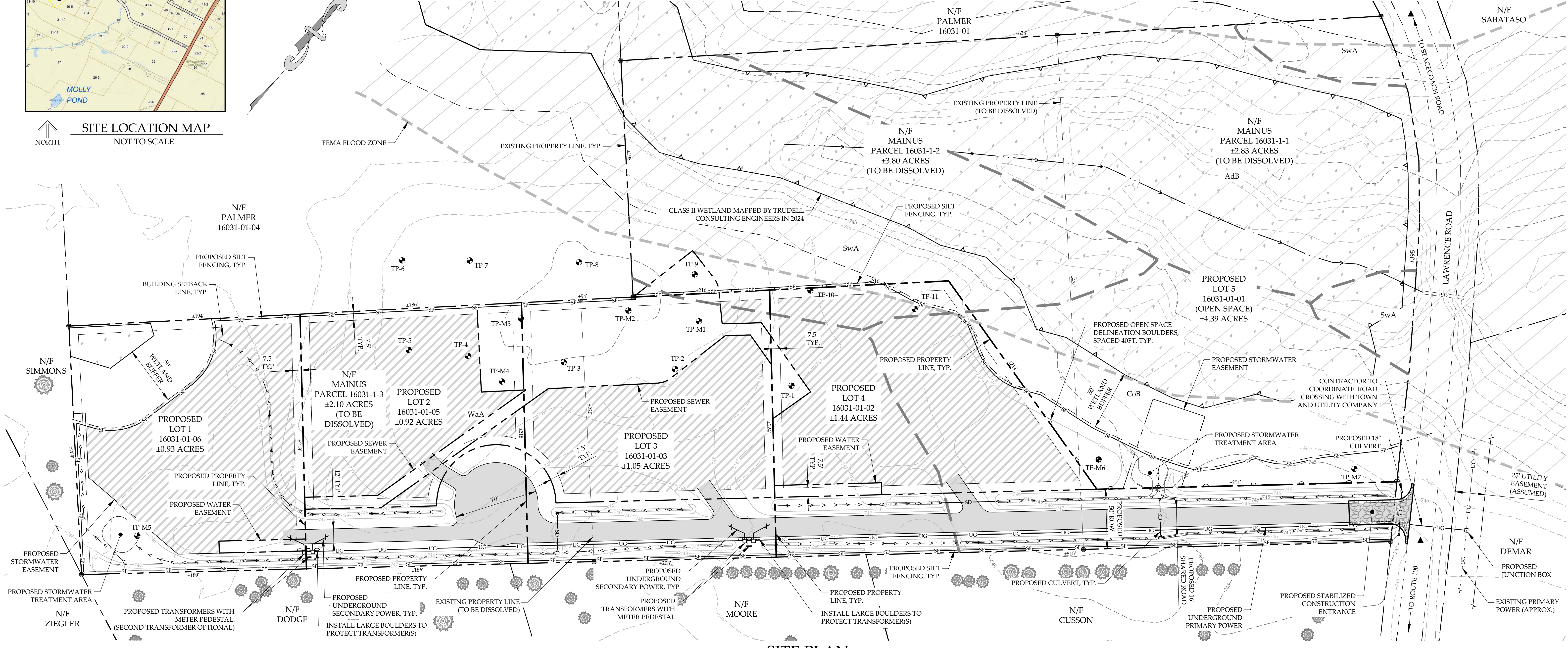
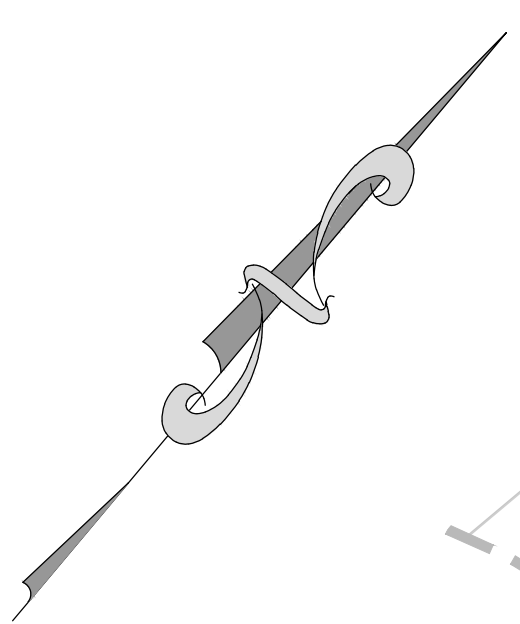
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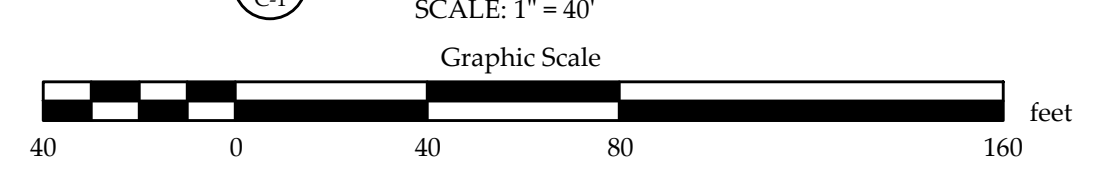


SITE LOCATION MAP
NOT TO SCALE

NORTH



SITE PLAN



PLAN REFERENCES:

- 1) TOPOGRAPHIC, PARCEL, AND ORTHOGRAPHIC INFORMATION TAKEN ELECTRONICALLY FROM THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION ON 05-08-25.
- 2) PARCEL & SITE INFORMATION PROVIDED ELECTRONICALLY OF PERMIT WW-5-3650, DATED 4-3-06, SHOWN ON PLAN ENTITLED "SITE PLAN, RICHARD PALMER, LAWRENCE ROAD, MORRISTOWN, VERMONT", DATED 01/24/06, PREPARED BY TRUDELL CONSULTING ENGINEERS (TCE).
- 3) PARCEL & SITE INFORMATION TAKEN FROM WW-5-3650, DATED 04-03-06, SHOWN ON PLAN ENTITLED "SUBDIVISION PLAT, RICHARD PALMER, LAWRENCE ROAD, MORRISTOWN, VERMONT", DATED 01/23/06, PREPARED BY TRUDELL CONSULTING ENGINEERS (TCE).

NOTES:

- 1) THIS DRAWING IS NOT A BOUNDARY SURVEY PLAT. BOUNDARY LINE INFORMATION SHOWN IS BASED ON PLAN REFERENCES #2 & #3. THE PROPERTY LINES, EASEMENTS AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THIS DRAWING ARE FOR ILLUSTRATION PURPOSES ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN V.S.A. TITLE 27 SECTION 1403 AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
- 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION. APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- 3) THIS TOPOGRAPHIC SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" BEFORE COMMENCING ANY WORK AND SHALL PRESERVE ALL EXISTING UTILITIES NOT SPECIFIED TO BE REMOVED OR ABANDONED AS PART OF THE PROJECT.

LEGEND	
N/F	NOW OR FORMERLY OWNED BY
●	IRON PIPE / REBAR FOUND
○	EXISTING DRILLED WELL
○	EXISTING TREE
---	EXISTING PROPERTY LINE
---	ABUTTER PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	EXISTING RIGHT-OF-WAY - ACCESS
---	PROPOSED RIGHT-OF-WAY - ACCESS
---	PROPOSED EASEMENT - WATER/WASTEWATER
---	PROPOSED EASEMENT - STORMWATER
---	EXISTING WATER LINE
---	EXISTING GRAVITY SEWER LINE
---	EXISTING PRESSURE SEWER LINE
---	EXISTING STORMWATER DRAIN
---	PROPOSED STORMWATER DRAIN
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SILT FENCING
---	PROPOSED UNDERGROUND POWER / TELECOMMUNICATIONS
---	PROPOSED BUILDING ENVELOPE
---	BUILDING SETBACK LINE
---	EXISTING STREAM
---	PROPOSED CONVEYANCE SWALE
---	WETLAND BOUNDARY
---	WETLAND BUFFER
---	SOIL GROUP DELINEATION

NO EARTH DISTURBANCE SHALL BE CONDUCTED BEYOND THE PROJECT LIMITS

ALL DISTURBED AREAS WITHIN PROJECT LIMITS SHALL RECEIVE SEED AND MULCH, SEE SOIL ESTABLISHMENT NOTES

CONTRACTOR TO FOLLOW VERMONT HANDBOOK FOR LOW RISK SITE FOR EROSION PREVENTION AND SEDIMENT CONTROL MAINTAIN SITE CLEANLINESS PER SPECIFICATIONS.

PURPOSE OF PLAN:
PROPOSED 5-LOT PLANNED UNIT DEVELOPMENT.

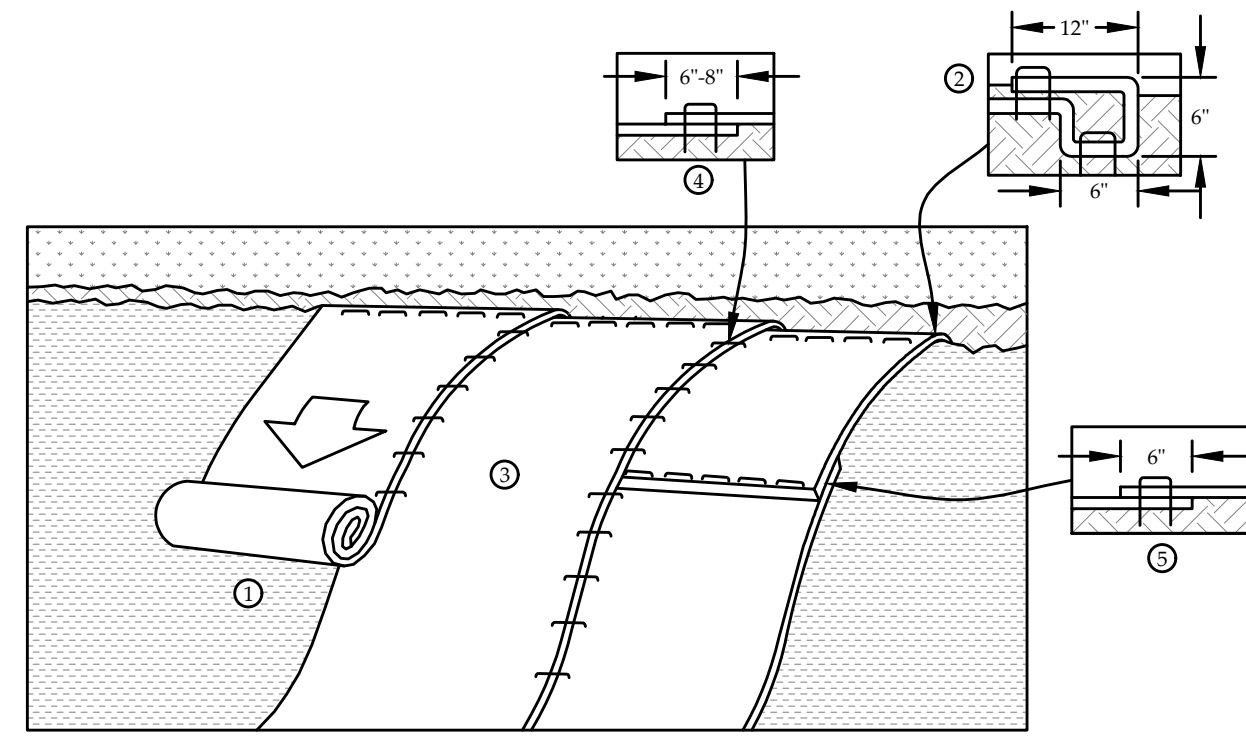
ZONING NOTES:
DISTRICT: RRA
MINIMUM LOT SIZE: 80,000 SF
MINIMUM LOT FRONTAGE: 50 FT
SETBACKS:
FRONT = 45 FT
REAR = 15 FT
SIDE = 15 FT
SHORELINE = 50 FT

PER SECTION 510, DIMENSIONAL REQUIREMENTS OF CONSERVATION SUBDIVISIONS ALLOW FOR REDUCTIONS PROVIDED 50% OPEN SPACE IS PROVIDED AS PART OF THE SUBDIVISION:
MINIMUM LOT SIZE: 40,000 SF
MINIMUM LOT FRONTAGE: 20 FT
SETBACKS:
FRONT = 22.5 FT
REAR = 7.5 FT
SIDE = 7.5 FT
SHORELINE = 25 FT

OWNER OF RECORD:
VIRGINIA MAINUS

SITE PLAN
VIRGINIA MAINUS
LAWRENCE ROAD
MORRISTOWN, VERMONT

 46 HUTCHINS STREET MORRISVILLE, VT 05661 WWW.MUMLEYENGINEERING.COM COPYRIGHT © 2025 - MUMLEY ENGINEERING, INC.	PROJECT NO.25030 DRAWN BYWEH/REB CHECKED BYTRM SCALE1" = 40' DATE12/01/25	SHEET NO. <div style="font-size: 2em; font-weight: bold;">C-1</div> 1 OF 2 SHEETS
	<p style="text-align: right;">1 OF 2 SHEETS</p>	



NOTES:

- 1) PREPARE SOIL BEFORE INSTALLING EROSION CONTROL BLANKET (ECB) INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
- 2) BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE ECB IN A 6" DEEP, 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- 3) ROLL THE BLANKET DOWN THE SLOPE. BLANKET WILL UNROLL WITH THE APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- 4) THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 6" - 8" OVERLAP DEPENDING ON BLANKET TYPE.
- 5) CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- 6) IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKET.
- 7) THE USE OF WELDED PLASTIC MATTING IS NOT PERMITTED. ALL EROSION CONTROL MATTING MUST BE BIODEGRADABLE AND DEGRADE IN 6-24 MONTHS, DEPENDING ON THEIR MAKEUP.

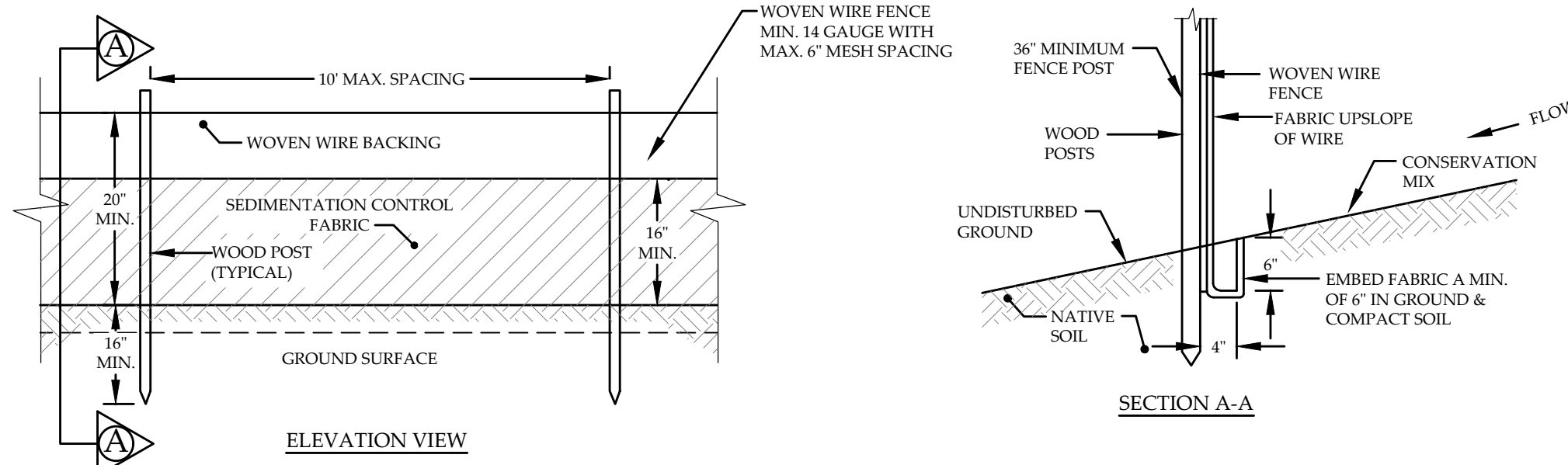
1 C-2 EROSION CONTROL BLANKET - SLOPE INSTALLATION

NOT TO SCALE

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL STATE AND LOCAL EROSION PREVENTION AND SEDIMENT CONTROL STANDARDS AND PERMIT REQUIREMENTS DURING CONSTRUCTION.
2. THE LIMIT OF DISTURBANCE SHALL BE CLEARLY DEFINED BY CONTRACTOR'S SURVEYOR PRIOR TO CLEARING. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE ESTABLISHED TO TRAP SEDIMENT ON SITE.
3. CLEARING AND GRUBBING SHALL NOT BEGIN UNTIL DISTURBANCE LIMITS AND SEDIMENT CONTROLS ARE IN PLACE. ALL ROOTS, STUMPS AND DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF DISTURBED LAND AT ANY GIVEN TIME.
4. ALL EROSION CONTROL SHALL BE PLACED AS SHOWN ON THE DRAWINGS OR AS ORDERED BY THE ENGINEER. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES UNTIL THE ENGINEER IS SATISFIED THAT PERMANENT GROUND COVER IS ESTABLISHED AND THAT FURTHER MEASURES ARE NOT REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO EMPLOY APPROPRIATE EROSION CONTROL AS SHOWN ON THESE DRAWINGS AND ANY OTHER MEASURES AS NECESSARY TO TRAP SEDIMENT ON SITE. REFER TO PERMIT MAINTENANCE AND INSPECTION REQUIREMENTS.
5. ALL AREAS OF DISTURBANCE SHALL BE PERMANENTLY OR TEMPORARILY STABILIZED AS SOON AS POSSIBLE AND WITHIN 48 HOURS OF FINAL GRADING. ALL AREAS OF DISTURBANCE SHALL BE AT LEAST TEMPORARILY STABILIZED DAILY DURING WINTER CONSTRUCTION UNLESS THE FOLLOWING EXCEPTIONS APPLY:
 - a. STABILIZATION IS NOT REQUIRED IF EARTHWORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST IN THE NEXT 24 HOURS
 - b. STABILIZATION IS NOT REQUIRED IF THE WORK IS OCCURRING IN A SELF-CONTAINED EXCAVATION (I.E. NO OUTLET) WITH A DEPTH OF 2 FT. OR GREATER (E.G. HOUSE FOUNDATION EXCAVATION, UTILITY TRENCHES). STABILIZATION MEASURES SHALL INCLUDE MULCH AND NETTING, EROSION CONTROL MATTING, CRUSHED STONE, GRAVEL, OR PAVEMENT.
6. UNLESS SPECIFICALLY INDICATED ON THE PLANS ACCEPTABLE METHODS OF STABILIZATION INCLUDE:
 - a. STRAW OR HAY MULCHING - 2 TONS PER ACRE. ONLY STRAW MULCH IS ALLOWED FOR STABILIZATION OF FINAL GRADED AND TOPSOILED AREAS. APPROXIMATELY 2" UNIFORM THICKNESS. ONLY ALLOWED ON RELATIVELY FLAT AREAS WITH MINIMUM UPSLOPE WATERSHED. MULCH MUST BE PROPERLY SECURED WITH NETTING TO PREVENT MATERIAL BEING BLOWN AWAY BY THE WIND (WINDTHROW).
 - b. HYDROSEEDING - APPLIED TO THE MANUFACTURER'S RECOMMENDED APPLICATION RATE. CONTRACTOR SHALL PROVIDE EVIDENCE OF PROPER APPLICATION RATE. HYDROSEEDING MUST BE ACCOMPANIED BY EROSION CONTROL MATTING IN AREAS OF CONCENTRATED FLOW.
 - c. EROSION CONTROL MATTING - 575BN MATTING MUST BE APPLIED TO ALL SLOPES 3:1 (H:V) OR GREATER (UNLESS OTHERWISE INDICATED).
 - d. CRUSHED STONE OR CRUSHED GRAVEL - TYPICALLY USED FOR TEMPORARY ACCESS ROADS AND CONSTRUCTING STAGING AREAS.
7. THE CONTRACTOR SHALL USE WATER FOR DUST CONTROL.
8. THE CONTRACTOR SHALL PROVIDE INLET PROTECTION AROUND ALL CATCH BASINS (EXISTING OR NEW) THAT COLLECT CONSTRUCTION SITE STORMWATER RUN-OFF. AT A MINIMUM, MARSHMAT COR INLET FILTERS SHALL BE INSTALLED OVER ALL CATCH BASIN GRATES. ADDITIONAL INLET CONTROL SHALL BE INSTALLED AND IDENTIFIED ON THE PLANS AS WARRANTED DURING CONSTRUCTION. INLET PROTECTION MUST BE MAINTAINED UNTIL FINAL STABILIZATION HAS BEEN REACHED.
9. A STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL) SHALL BE INSTALLED AND MAINTAINED AT ALL CONSTRUCTION ACCESS LOCATIONS IF CONSTRUCTION VEHICLES TRAVEL OFF THE EXISTING HARDSCAPE. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING CRUSHED STONE TO PROVIDE STABLE AREAS FOR CONSTRUCTION VEHICLE TRAFFIC, STAGING, AND STORAGE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING SUFFICIENT STONE TO PREVENT RUTTING AND SEDIMENT TRACKING.
10. ANY PAVED ROADS USED BY CONSTRUCTION VEHICLES SHALL BE SWEEP DAILY, OR AT A GREATER FREQUENCY, IF DIRT OR GRAVEL IS TRACKED FROM THE SITE. THE SWEEP DEBRIS SHALL BE IMMEDIATELY REMOVED FROM FACE OF CURB IF APPLICABLE.
11. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS OF THE FINAL STABILIZATION OR AFTER THE MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED.
12. ALL SEDIMENT REMOVED FROM SEDIMENT CONTROL PRACTICES SHALL BE PLACED IN AN APPROVED SOIL DISPOSAL AREA.
13. ALL AREAS THAT DO NOT HAVE ESTABLISHED VEGETATION BY OCTOBER 15TH MUST BE STABILIZED IN ACCORDANCE WITH THE WINTER STABILIZATION REQUIREMENTS OUTLINED IN THE LOW RISK SITE HANDBOOK.
14. AFTER PERMANENT SEEDING THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING TO ENSURE ADEQUATE VEGETATIVE GROWTH.
15. THE LOCATION OF TEMPORARY CONSTRUCTION FENCING AND TEMPORARY ACCESS SHOWN ON THE PLAN ARE FOR SCHEMATIC PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY CONSTRUCTION FENCING, TEMPORARY ROADS, STAGING AREAS, ETC., NECESSARY TO COMPLETE THE WORK.
16. CONTRACTOR SHALL SIGN ON AS THE CO-PERMITTEE FOR THE STATE OF VERMONT EROSION PREVENTION AND SEDIMENT CONTROL PERMIT FOR THE PROJECT.
17. THE EROSION AND SEDIMENT CONTROL PRACTICES SHOWN ON THESE PLANS ARE THE MINIMUM REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL EMPLOY AS MANY BEST MANAGEMENT PRACTICES AS NECESSARY TO PREVENT SOIL FROM LEAVING THE CONSTRUCTION SITE. IF EVIDENCE IS FOUND OF SEDIMENT TRACKING OR ERODED SOIL LEAVING THE CONSTRUCTION SITE, THE ENGINEER MAY DIRECT SITE CONTRACTOR TO IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES AT NO ADDITIONAL COST TO OWNER.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTION AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL PRACTICES FOR THE PROJECT. INSPECTIONS AND CORRESPONDING REPORTS SHALL BE PERFORMED, AT A MINIMUM, ONCE A WEEK AND AFTER EVERY PRECIPITATION EVENT THAT RESULTS IN A DISCHARGE FROM THE SITE.

THE PERIMETER OF THE SITE AND ALL BMPs WILL BE INSPECTED AT THE END OF EACH WORKDAY TO ENSURE THAT SEDIMENT WILL NOT LEAVE THE SITE. IF SEDIMENT HAS TRAVELED BEYOND THE SITE BOUNDARY, IT SHALL BE SWEEPED UP OR OTHERWISE REMOVED AND DEPOSITED ON-SITE IN AN UPGRADED AREA TO THE END OF EACH WORKDAY.



CONSTRUCTION SPECIFICATIONS:

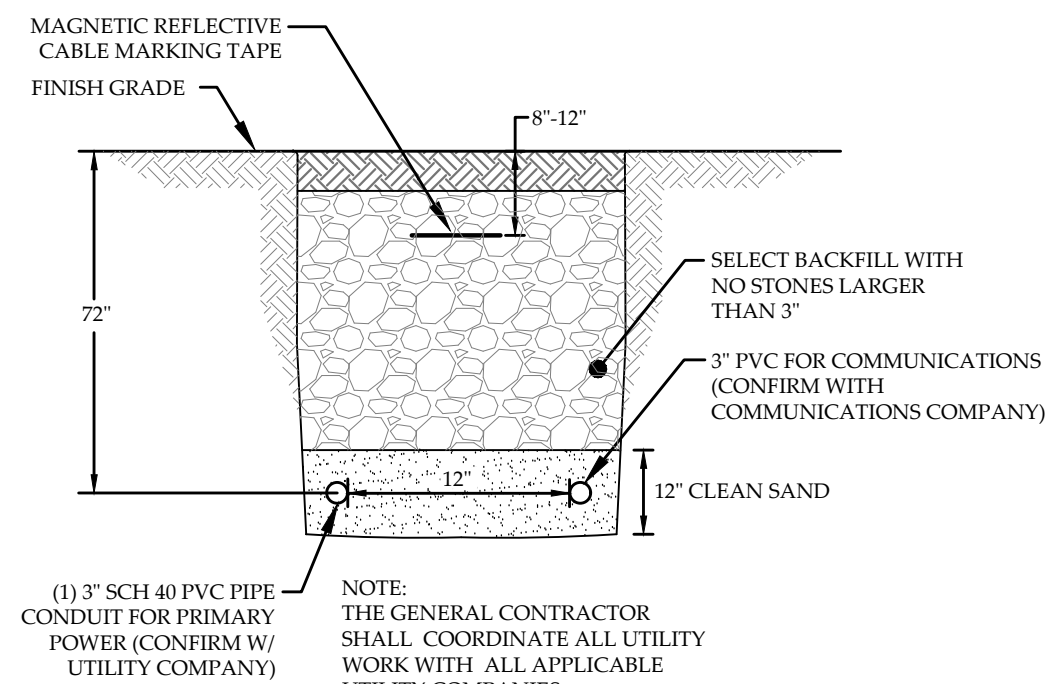
- SILT FENCING WILL BE APPLIED TO THE SITE SO THAT THERE WILL BE 100 FEET OF FENCING FOR EVERY 1/4 ACRE OF DISTURBED UPGRADED AREA.
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES, OF THE VERMONT STANDARDS AND SPECIFICATIONS FOR EROSION PREVENTION AND SEDIMENT CONTROL, PREPARED BY THE STATE OF VERMONT DEPT. OF ENVIRONMENTAL CONSERVATION, DATED 2006.
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES. WIRE FENCE REINFORCEMENT REQUIRED WITHIN 100 FT UPSLOPE OF RECEIVING WATERS.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTR X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OF APPROVED EQUIVALENT.
- THE FABRIC SHALL NOT EXTEND MORE THAN 30" ABOVE THE ORIGINAL GROUND SURFACE AND WILL EXTEND TO A MINIMUM OF 12" INTO THE TRENCH. FILTER FABRIC SHALL NOT BE STAPLED INTO EXISTING TREES.
- THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED, SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

2 C-2 SILT FENCE DETAIL

NOT TO SCALE

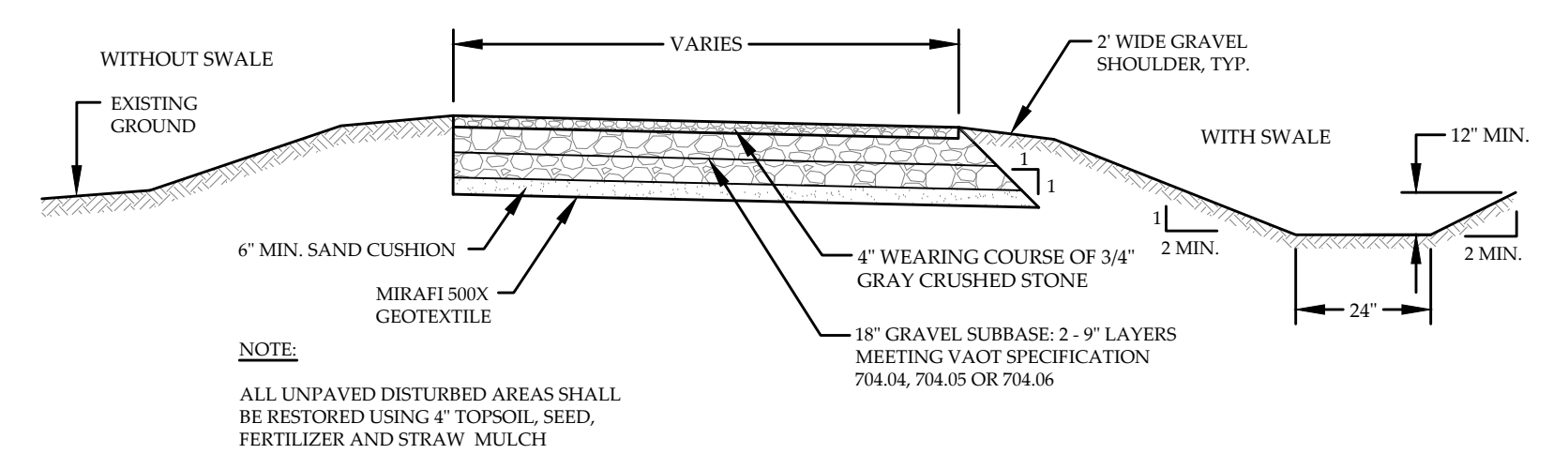
TURF ESTABLISHMENT NOTES:

- ALL DISTURBED AREAS THAT DO NOT HAVE AN IMPERVIOUS SURFACE (PAVEMENT, SIDEWALKS, ROOFS) OR ARE NOT LANDSCAPED WITH BARK MULCH, SHALL BE STABILIZED NEW GRASS COVER. ALL SEEDING AND MULCHING FOR ESTABLISHING NEW GRASS COVER SHALL BE COMPLETE PRIOR TO COMPLETION OF PROJECT. PLACEMENT OF TOPSOIL, AND THE APPLICATION OF SEED, FERTILIZER, LIME (WHERE APPLICABLE), AND MULCH SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
1. A MINIMUM OF 4" OF CLEAN TOPSOIL SHALL BE PLACED IN ALL AREAS. PLACEMENT OF TOPSOIL SHALL NOT BE DONE WHEN THE GROUND OR TOPSOIL IS FROZEN, EXCESSIVELY WET, OR OTHERWISE IN A CONDITION DETRIMENTAL TO THE WORK. FOLLOWING PLACEMENT OF TOPSOIL, THE SURFACE SHALL BE RAKED. ALL STONES, LUMPS, ROOTS, OR OTHER OBJECTIONAL MATERIAL SHALL BE REMOVED.
 2. URBAN SEED MIXTURE SHALL BE SPREAD UNIFORMLY IN ALL AREAS AT THE SPECIFIED RATE.
 3. FERTILIZER SHALL BE APPLIED ONLY IF SPECIFICALLY REQUIRED BY THE OWNER AND AFTER PERFORMING A SOIL TEST AND BE APPLIED BASED UPON SOIL DEFICIENCIES. LIME SHALL ONLY BE APPLIED IF SPECIFICALLY REQUIRED BY THE OWNER AS NEEDED BASED UPON A SOIL pH TEST.
 4. MULCHING SHALL FOLLOW THE SEEDING OPERATION BY NOT MORE THAN 24 HOURS. MULCH SHALL BE SPREAD UNIFORMLY OVER THE AREA AT A MINIMUM RATE OF 2 TONS PER ACRE. SITE CONDITIONS MAY WARRANT THE APPLICATION OF A TACKFIER TO HOLD THE MULCH IN PLACE. IF NECESSARY TO RETAIN THE MULCH, THE CONTRACTOR SHALL APPLY AN APPROVED TACKFIER WITHOUT ADDITIONAL COST TO THE OWNER.
 5. ALL SLOPES STEEPER THAN 3H:1V SHALL HAVE EROSION MATTING APPLIED OVER THE SEED. ALL DITCH CENTERLINE GRADES GREATER THAN 5% OR AS SHOWN ON THE PLANS SHALL HAVE EROSION MATTING APPLIED OVER THE SEED. EROSION MATTING SHALL CONSIST OF EROSION CONTROL BLANKET WITH 100% AGRICULTURAL STRAW MATRIX STITCH BOUNDED WITH DEGRADABLE THREAD BETWEEN TWO PHOTODEGRADABLE POLYPROPYLENE NETTINGS, NORTH AMERICAN S150 OR EQUAL.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A FULL GROWTH OF GRASS IN ALL DISTURBED AREAS TO BE RE-VEGETATED. VEGETATION GROWTH SHALL BE PERMANENT AND SUFFICIENT TO PREVENT EROSION OF THE UNDERLYING SOIL UNDER ALL CONDITIONS OF PRECIPITATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND CARING FOR SEEDS, MULCHES, AND AREAS OF ESTABLISHED VEGETATION UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.



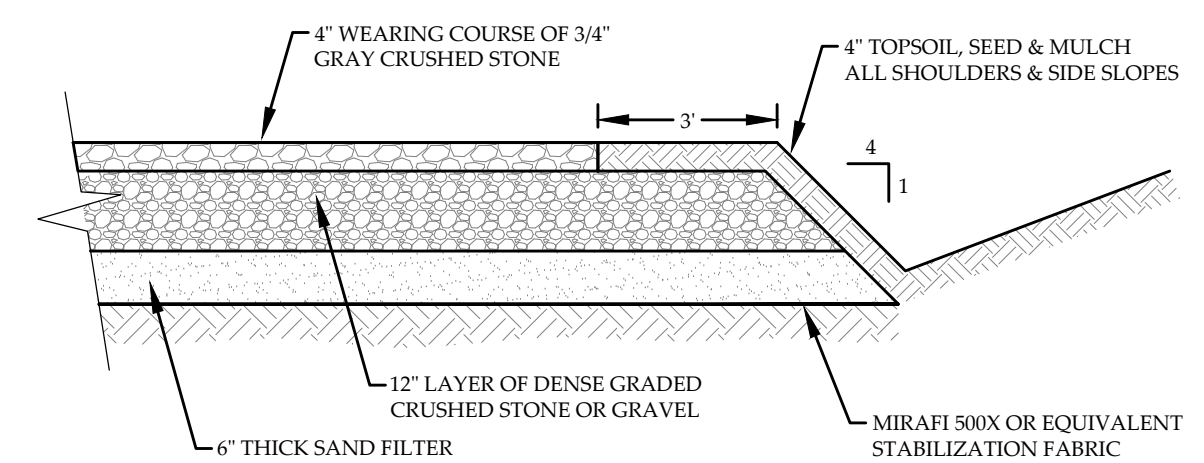
6 C-2 UTILITY TRENCH

NOT TO SCALE



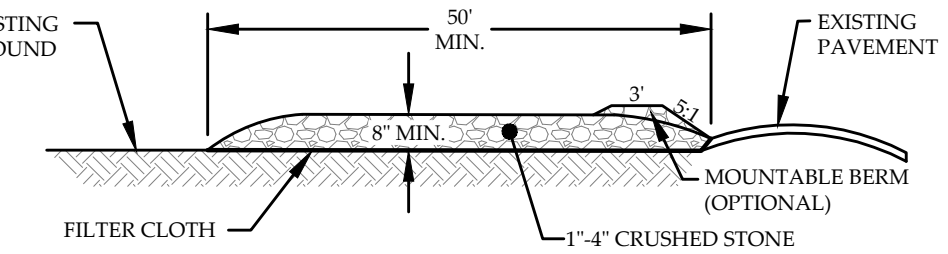
3 C-2 TYPICAL GRAVEL ROAD SECTION

NOT TO SCALE



4 C-2 TYPICAL GRAVEL DRIVEWAY SECTION

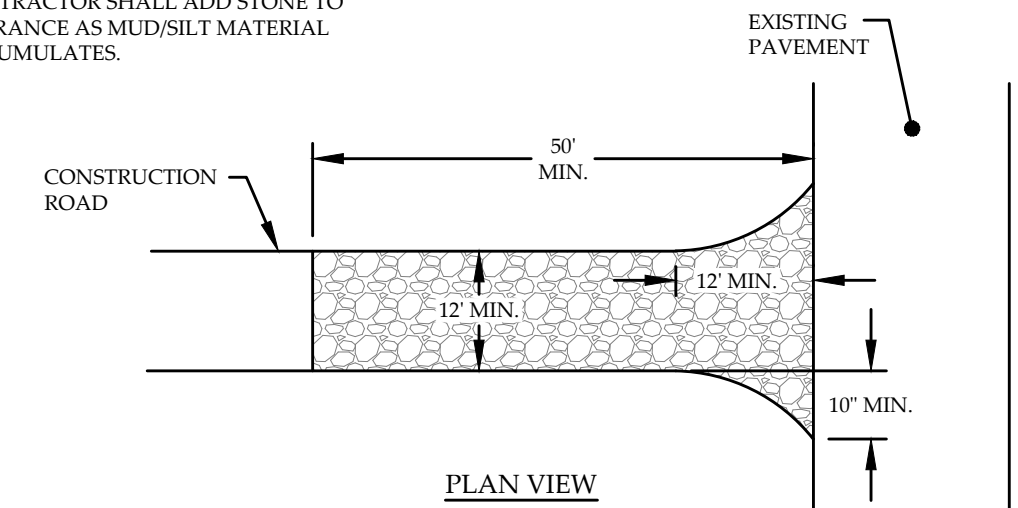
NOT TO SCALE



SECTION VIEW

NOTE:

CONTRACTOR SHALL ADD STONE TO ENTRANCE AS MUD/SILT MATERIAL ACCUMULATES.



PLAN VIEW

NOTES:

- 1) SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BEAM WITH 5:1 SLOPES WILL BE PERMITTED.
- 2) MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- 3) WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 4) PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED ACCORDING TO PERMIT REQUIREMENTS.
- 5) THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR CONSTRUCTION ENTRANCES, OF THE VERMONT STANDARDS AND SPECIFICATIONS FOR EROSION PREVENTION AND SEDIMENT CONTROL, PREPARED BY THE STATE OF VERMONT DEPT. OF ENVIRONMENTAL CONSERVATION, DATED 2006.

5 C-2 STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

DETAILS
VIRGINIA MAINUS
LAWRENCE ROAD
MORRISTOWN, VERMONT

<p>46 HUTCHINS STREET MORRISVILLE, VT 05661 WWW.MUMLEYENGINEERING.COM COPYRIGHT © 2025, MUMLEY ENGINEERING, INC.</p>	PROJECT NO.....25030 DRAWN BY.....WEH/REB CHECKED BY.....TRM SCALE.....AS SHOWN DATE.....12/01/25	SHEET NO. C-2 2 OF 2 SHEETS
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DECLARATION OF COVENANTS

This Declaration Of Covenants (this "Declaration") is made as of the ____ day of ____, 2026 by Virginia Mainus, landowner ("Declarant").

Background

A. Declarant owns certain real property named Lots 1, 2, and 3 as depicted on a survey plat entitled "Subdivision Plat, Richard Palmer, Lawrence Road, Morristown, VT" dated January 23, 2006, recorded as Slide 296 in the Town of Morristown Land Records, and being all and the same lands and premises conveyed to it by a Warranty Deed recorded at Book 346, Pages 186-187 of the Town of Morristown Land Records (the "Property").

B. The Town of Morristown Development Review Board ("DRB") issued a Decision dated _____ (the "DRB Decision") granting final PUD Subdivision approval for as depicted on a plat entitled _____ prepared by Bowman Consulting, dated _____, and recorded as Slide _____ in the Town of Morristown Land Records (the "Plat").

C. The DRB Decision authorized Declarant to develop the Property with a 5-lot Conservation Planned Residential Development ("PRD") including four residential lots with individual on-site water supplies, shared wastewater disposal systems, shared stormwater management system, private roadway access, dedicated Open Space (proposed Lot 5), and other site improvements (the "Project").

D. The DRB Decision states that a draft Shared Maintenance Agreement / Private Enforcement Documents or other legal documents outlining the maintenance and repair responsibilities of all shared improvements, including but not limited to access, utilities, and stormwater improvements, shall be recorded in the Land Records prior to the issuance of any zoning permit. A copy of the recorded agreement shall be provided to the Zoning Administrator and kept on file in the Planning and Zoning Office.

E. The Declarant ultimately intends to develop the Property with a 5-lot Residential PUD Subdivision that will be sold to purchasing unit owners, but the Declaration and plans for the common interest community are yet to be developed and no Association has yet been formed to provide for its management.

F. Declarant wishes to establish certain covenants with respect to the Property to satisfy the DRB Decision until such time as a common interest community Declaration is recorded and a homeowners' association is formed to assume and perform the obligations contemplated by the DRB Decision.

NOW THEREFORE, the Declarant declares that the Property is hereby subjected to and shall be held, sold, occupied, and conveyed subject to the terms and provisions of this Declaration.

1. Maintenance Obligations. Declarant hereby declares that: (a) Open Space, roadway, utilities, and stormwater improvements located on the Property and serving any common interest lots on the Property shall be maintained, repaired and replaced as necessary so that they are in good condition, in compliance with applicable municipal and state permit conditions, and in compliance with applicable laws and regulations, subject to reasonable wear and tear; (b) the project roadway and turnaround shall be regularly snow-plowed in the winter to provide reasonable access to the Property in compliance with applicable municipal and state permit conditions and in compliance with applicable laws and regulations; and (c) trash, recycling, and compost collection and storage areas on the Property shall be maintained in a sanitary manner, and trash hauling from the Property shall be undertaken in a sanitary manner.

2. Costs of Maintenance. Until such time that the Declarant establishes a common interest community on the Property and sells a unit in such community to a third-party purchaser, Declarant shall have bear full responsibility for the costs of maintaining the Property as provided herein. If Declarant establishes a common interest community on the Property and creates a homeowners' association, then the costs of maintaining the Property as provided herein shall be allocated to and among the homeowners according to the Declaration or other governing documents of the common interest community.

3. Duration. The terms, covenants and restrictions established by this Declaration shall run with title to and shall bind the Property and any party having any right, title, or interest in the Property, and shall inure to the benefit of and shall be enforceable by Declarant and its successors and assigns. If Declarant establishes a common interest community on the Property and creates a homeowners' association, then Declarant may transfer and assign the terms, provisions, and obligations set forth in this Declaration to such homeowners' association, and upon such transfer and assignment, the homeowners' association shall be obligated to comply with the requirements of this Declaration and the Declarant shall be relieved of such obligations and any associated liability.

4. DRB Decision Compliance. The issuance of a zoning permit for the Project shall be conclusive evidence that the execution, delivery, and recording of this Declaration satisfies the DRB Decision.

5. Severability. Whenever possible, each provision of this Declaration shall be interpreted in such manner as to be effective and valid, but if the application of any provision of this Declaration to any person or to any property shall be prohibited or held invalid, such prohibition or invalidity shall not affect any other provision or the application of any provision which can be given effect without the invalid provision or application, and, to this end, the provisions of this Declaration are declared to be severable.

6. Governing Law. This Declaration shall be construed and governed in accordance with the internal laws of the State of Vermont, without regard to principles of conflict of laws.

By: _____
Virigina Mainus

STATE/Commonwealth of _____

_____ COUNTY, SS.

This instrument was acknowledged before me on _____ by Virigina Mainus.

SEAL

Notary Public
My Commission Expires: _____

DRAFT

CONSERVATION EASEMENT DEED

(Open Space)

KNOW ALL PERSONS BY THESE PRESENTS, that Virginia Mainus (the "Grantor"), in consideration of the sum of Ten and More Dollars paid to its full satisfaction by the TOWN OF MORRISTOWN, a Vermont municipality in the County of Lamoille and State of Vermont ("Grantee"), by these presents, does freely GIVE, GRANT, SELL, CONVEY and CONFIRM unto the said Grantee, the TOWN OF MORRISTOWN, and its successors and assigns forever, a conservation easement with respect to certain lands and premises in the Town of Morrystown, County of Lamoille and State of Vermont (the "Property") described as follows, viz:

Being a parcel of land identified as "Proposed Lot 1, Open Space, Parcel ID No. 16031-1-1, 4.39 Acres" on the plat entitled "Subdivision Plat of Virginia Mainus" prepared by Bowman Consulting Group, dated _____ and recorded on _____ in Map Slide _____ of the Town of Morrystown Land Records (the "Plat").

The conservation easement over the Property is conveyed subject to the Declaration of Covenants established by Grantor dated _____ and recorded in Volume ____ at Page ____ of the Town of Morrystown Land Records (the "Declaration"), which Grantor executed and recorded in connection with the development of the parcel of land identified on the Plat as "Proposed Lot 1, Open Space, Parcel ID No. 16031-1-1, 4.39 Acres" (the "Project Parcel") to satisfy requirements of the Decision of the Morrystown/Morrisville Development Review Board dated _____, (the "DRB Decision") predicate to the issuance of Morrystown Subdivision Permit No. _____ .

As required by the Declaration, the Property shall be maintained as open space for the benefit of the residents and invitees of the residential parcels and for the benefit of the general public who access the Property via the adjacent Lawrence Farm Road. The Property shall be kept and maintained in good condition and in a safe, clean and sanitary manner, and shall only be used for the following purposes: establishing, maintaining, repairing and replacing walking and hiking trails; open space; recreation; conservation; the installation, maintenance, repair and replacement of stormwater treatment, detention and conveyance infrastructure serving the residential lots; the installation, maintenance, repair and replacement of sewer lines, water lines, other underground utility lines and related infrastructure serving the residential lots; and the installation, maintenance, repair and replacement of paved roadway turnarounds serving the residential lots, all as depicted on the plans approved by DRB Decision.

By its acceptance of this Conservation Easement Deed, Grantee assumes from Grantor the obligations set forth in the Declaration to keep and maintain the Property in good condition and in a safe, clean and sanitary manner, and to maintain, repair and replace the walking and hiking trails on the Property as necessary so that they are in good condition, in compliance with applicable municipal and state permit conditions, and in compliance with applicable laws and regulations, subject to reasonable wear and tear, and agrees to perform such obligations for the benefit of the residential lots.

Grantor reserves to itself and its successors and assigns the right and obligation to install, maintain, repair and replace the following infrastructure that benefits the residential lots: the stormwater treatment, detention and conveyance infrastructure; the sewer lines, water lines and other

underground utility lines and related infrastructure; and the paved roadway turnarounds. Grantor further reserves to itself such easements and access rights as may be necessary or desirable to exercise its reserved installation, maintenance, repair and replacement rights, provided that Grantor agrees, for itself and its successors and assigns, that any property disturbed or affected by Grantor's exercise of the rights reserved hereunder shall be restored as nearly as reasonably practical to their condition prior to such entry at Grantor's cost and within a reasonable time.

The conservation easement over the Property is conveyed subject to (a) Town of Morristown Subdivision Permits No. _____ dated _____, and (b) all easements, rights of way, encroachments, permits, and encumbrances of record, not meaning to reinstate any claims barred by operation of the Vermont Marketable Record Title Act, 27 Y.S.A. § 601 et seq.

Reference is hereby made to the above-mentioned plan and deeds and the records thereof, and the references therein made all in further aid of this description.

TO HAVE AND TO HOLD the conservation easement over the Property, with all the privileges and appurtenances thereto, to Grantee, TOWN OF MORRISTOWN, and its successors and assigns, to their own use and behoof forever; and Grantor, Virginia Mainus, for itself and its successors and assigns, does covenant with the said Grantee and its successors and assigns, that until the ensembling of these presents, Grantor is the sole owner of the Property, and has good right and title to convey the conservation easement over the Property in the manner aforesaid, that the Property is FREE FROM EVERY ENCUMBRANCE, except as aforementioned; and it hereby engages to WARRANT and DEFEND the same against all lawful claims whatever, except as aforementioned.

IN WITNESS WHEREOF, the undersigned do hereby execute this Conservation Easement Deed as of the _____ day of _____, 20_____.

By: _____

Virginia Mainus

STATE OF VERMONT COUNTY OF LAMOILLE, SS.

This record was acknowledged before me on _____, by Virginia Mainus.

Before me, _____

Notary Public State of Vermont

My commission expires:

My credential number:

ACCEPTED AND AGREED:

Town of Morristown

By:

Name:

Title:

Village of Morrisville
Water & Light Department

TRUSTEES
Brad Limoge, Chairman
Carl Fortune, Clerk
Travis Knapp
Thomas Snipp
Robert Heanue

857 Elmore Street
Morrisville, Vermont 05661-8408
(802) 888-3348
Fax: (802) 888-5911
customersupport@mwlvt.com
www.mwlvt.com

MANAGER
Scott Johnstone

12/9/2025

RE: Tyler Machia
Town of Morristown
Zoning Administrator

Dear, Mr. Machia

Morrisville Water and Light approve the site plan by Mumley Engineering for Virginia Mainus. We have worked with them to prepare the site plan to make it possible to install power and communication to the 4 lots off Lawrence Rd. We will have our 25' ROW within the 50' road ROW. Conduit and equipment will be installed between edge of road and the proposed ditch. Utility trench is attached on the details sheet and it will be specified that the conduits will be 6' deep. Thank you all for including us in these decisions to help make things possible for our clients.

Sincerely,



Rusty Shedd

Electric Superintendent

Village of Morrisville, Water & Light Dept.

857 Elmore Street

Morrisville, VT 05661

(802) 888-3348

(802) 371-8035

www.mwlvt.com

Reice Branon

From: Kevin Petrochko <kpetrochko@morristownvt.gov>
Sent: Thursday, December 11, 2025 1:01 PM
To: Reice Branon
Cc: Tyler Mumley; Shelly Mainus
Subject: RE: 25030 - Mainus - Parcel Numbers and 911/Road Name

Follow Up Flag: Follow up
Flag Status: Flagged

Road name application looks complete, so Ill request a name review by our E911 contact with the State. Then, off to the SB it goes!
I'll let you know when the hearing will be.

Kevin Petrochko

Assistant Assessor, VPA I

E911 Coordinator

43 Portland Street
Morrisville, VT 05661
(802) 888-6371

KPetrochko@MorristownVT.gov

From: Reice Branon <reice@mumleyinc.com>
Sent: Thursday, December 11, 2025 12:55 PM
To: Kevin Petrochko <kpetrochko@morristownvt.gov>
Cc: Tyler Mumley <tyler@mumleyinc.com>; Shelly Mainus <shellymainus@gmail.com>
Subject: RE: 25030 - Mainus - Parcel Numbers and 911/Road Name

Kevin,

See attached signed road name application for this project and plans to supplement. Please let us know if you need anything else for this.

Again, thank you for your attention to this project.

Thank you!
Reice Branon

Reice Branon, P.E.

Project Manager

Mumley Engineering, Inc.

46 Hutchins Street
Morrisville, VT 05661
802-851-8882

www.mumleyengineering.com

APPENDIX A

Town of Morristown Access Permit Application Form

Application # 157 [to be filled in by the Town]

NOTICE TO APPLICANT: This form is for use in conjunction with the Town's Highway Access Policy. Before submitting an application, applicants are urged to review the Town's Highway Access Policy in full. If an application is approved, the Town Manager or designee will issue written permission in the form of a Notice of Permission to Proceed ("Notice"). The Notice will list the specifications, requirements, and restrictions for the work. The Notice may require supervision and/or inspection by the Town. The Notice will state the date on which construction / development of the Access may proceed. Once construction/development is completed, the Town Manager or designee shall conduct a final inspection to determine if the work has been completed according to the requirements listed in the Notice. If, after inspection, it is determined that the Access has been constructed / developed in compliance with the Notice, a written Permit shall be issued by Town Manager or designee within 15 days after final inspection. An access is not considered legally permitted until the written Permit has been recorded in the Town Land Records at the expense of the Permittee.

Name of Applicant: Virginia Mainus

Address of Applicant: 1152 South Road, Westfield PA 16922

Email: shellymainus@gmail.com Telephone: 716-208-2366

If Applicant is an organization or corporate entity, list the principal officers of Applicant and any other individual authorized to represent the applicant group or entity applying for the Permit:

If Applicant is an organization or corporate entity, list the name, address, email and telephone number of individual making the application:

Name: _____

Address: _____

Email: _____ Telephone: _____

Location of the proposed access: Off Lawrence Road, ±150 feet Northwest of Evergreen Lane

If the applicant is not the owner of the premises where the proposed access will be constructed, list the name and contact information of the owner or other person that has the authority to consent to the use of the premises and attach a signed statement from that person stating that consent is given to the applicant to have the access constructed on those premises:

Name: _____

Address: _____

Email: _____ Telephone: _____

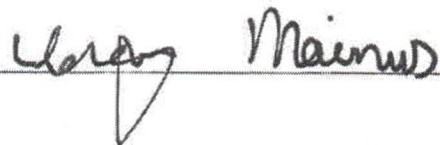
The date on which construction is proposed to begin: TBD

Attach a visual depiction of the premises indicating location, layout, state and local highways, entrances and exits, traffic flow patterns, parking and land uses of the surrounding area.

Describe the arrangements that have been made to protect the public health, safety, welfare and convenience of the traveling public during construction including, but not limited to, arrangements for traffic control, crowd control, waste and sanitation facilities: _____

During construction appropriate arrangements for traffic control, construction waste removal, and temporary restroom facilities will be arranged by the contractor (TBD).

Applicant may provide any additional information that may assist the Town Manager or Designee.

Signature of the applicant:  Date: 12/31/2025

FOR TOWN USE ONLY:

Application received by _____ [town official] on _____ [date]

Application fee of \$ _____, received by _____ [form of payment]

APPENDIX B

**Town of Morristown Notice of Permission to Proceed with
Construction / Development of Access / Right of Way**

Notice is hereby given to Virginia Mainus [name of Applicant / Property Owner] that the Town Manager or designee hereby grants permission to proceed with the construction / development of the proposed access/driveway/curb cut at 31-1-1 Lawrence Rd [parcel # and street address or property, if any], which proves access to / connects with [name and/or # of town highway] as per the Access Permit Application # 157, submitted to the Town on 1/2/26 [date]. Construction / development may begin on or after 1/3/26 [date] and must proceed according to the following conditions and restrictions:

[insert conditions or restrictions] Private Road, See attached Site Plan.
16' Wide, 18" Culvert at Lawrence Rd,
must have negative slope, must not shed
storm water into ROW

Permission granted in this Notice will expire [insert time period] from the date of issuance and is not transferable.
365 Days

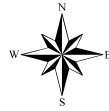
This Notice does not constitute an Access Permit. A Permit authorizing the use of access and recognizing completion of the project will be issued and become effective only after it is determined that compliance with all conditions, specifications, and restrictions described in this Notice to Proceed are met. Town Manager or designee with the assistance of other town officers, will have the authority and responsibility to determine when the conditions, restrictions, and specifications above are met.

Upon receipt of this Notice, you are hereby authorized to proceed with the project in accord with the conditions, specifications, and restrictions described herein. Approval covers only the work described in your Access Permit Application, as modified by the conditions, restrictions, and specifications listed above. You will be held financially responsible for any damage caused to the Town highway system resulting from the development or construction of a driveway/access, regardless of whether such development or construction has been authorized by the Town.

This Notice does not relieve you from any requirements imposed by other local, regional, or State agencies.

Issued on: 1/2/26 [date]

By: 
Town Manager or Designee



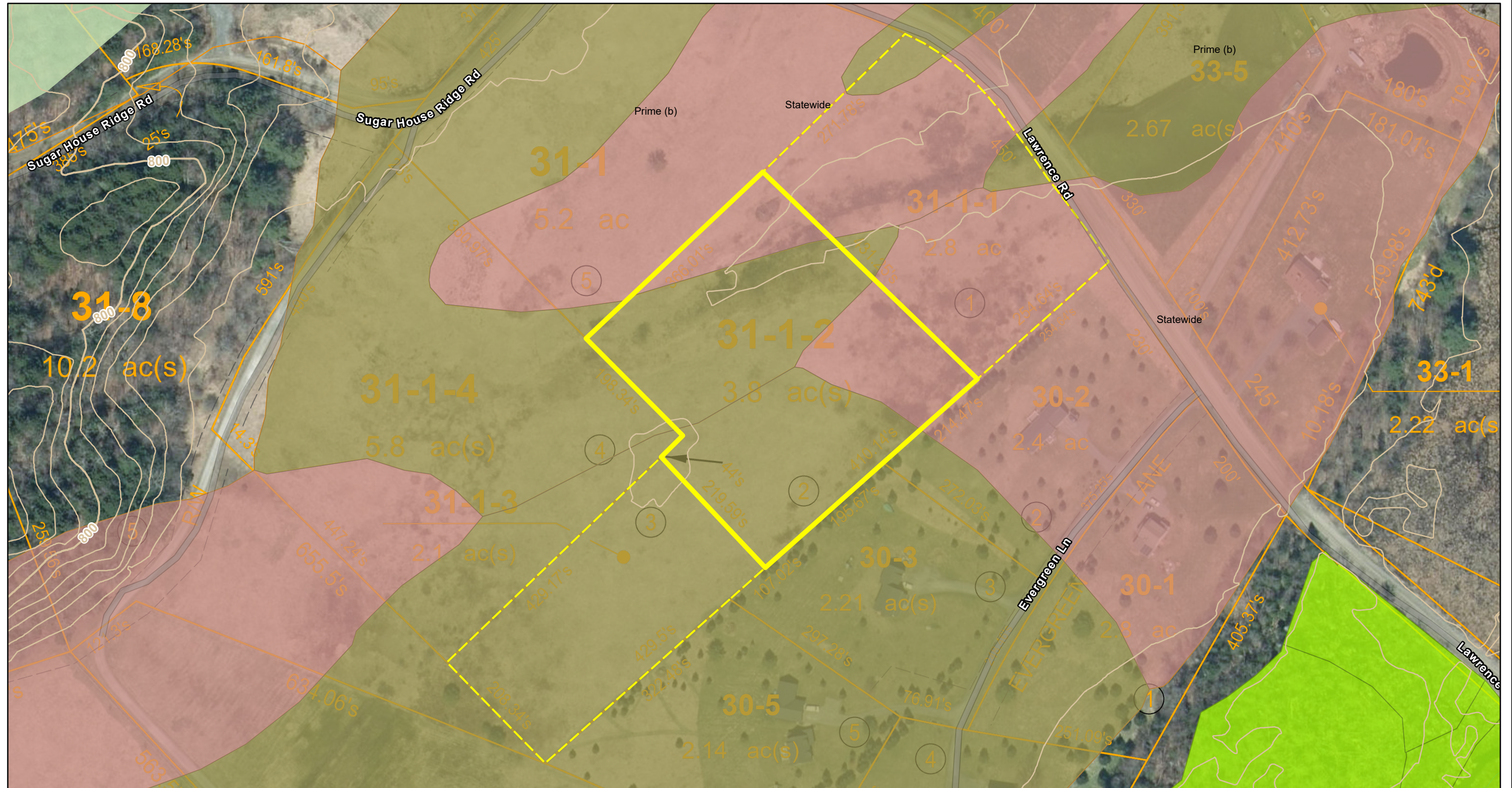
January 8, 2026

Town of Morrystown, VT

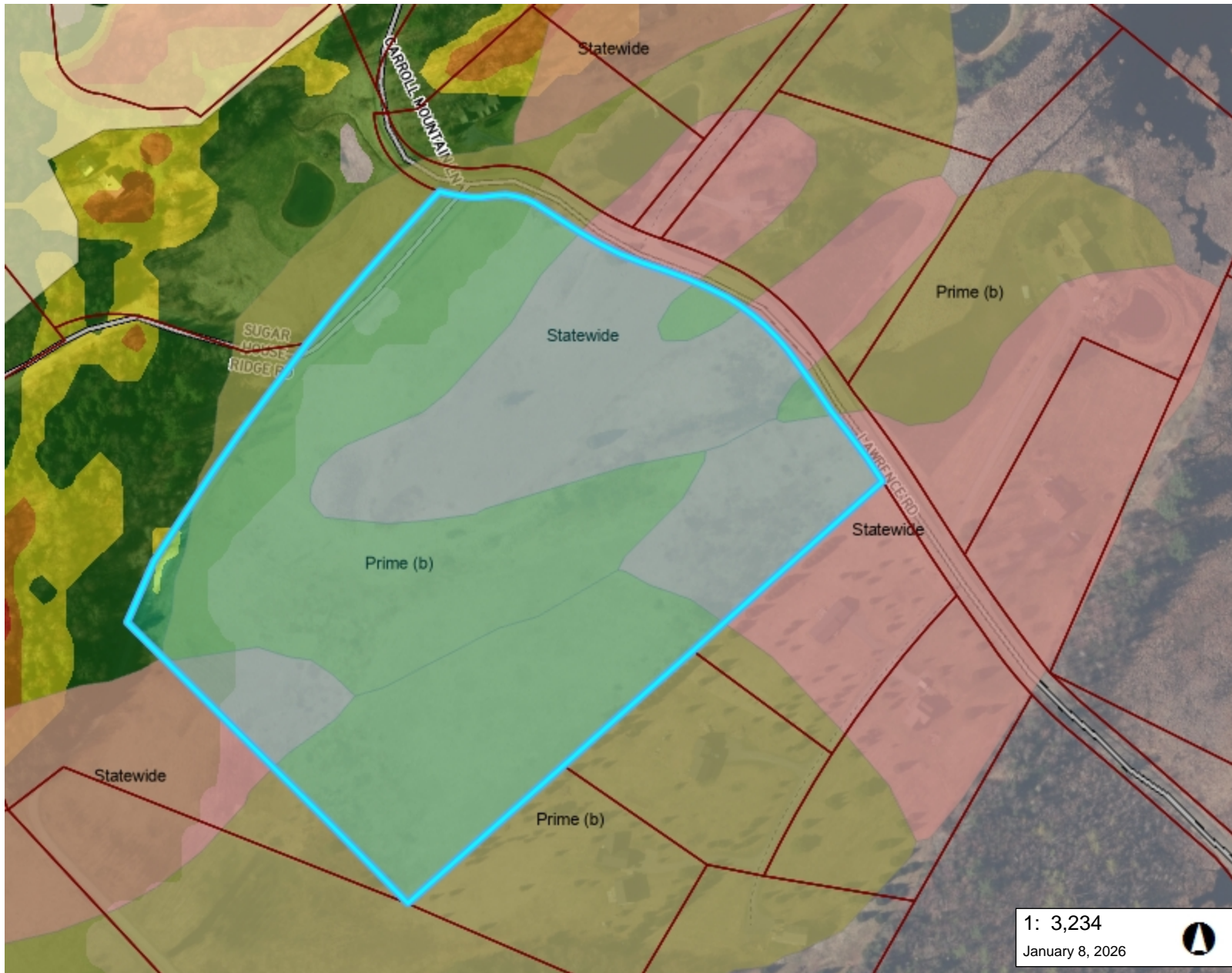
1 inch = 135 Feet



www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



LEGEND

- Uncommon Species and other
 - Plant
 - Animal
 - Natural Community
- Rare Threatened and Endange
 - RTE Animal
 - RTE Plant
- Significant Natural Communities
- Deer Wintering Areas
- Soils - Primary Agricultural
 - Local
 - Local (b)
 - Not rated
 - Prime
 - Prime (b)
 - Prime (f)
 - Statewide
 - Statewide (a)
 - Statewide (b)
 - Statewide (c)
- Parcels (standardized)
- Roads
 - Interstate
 - US Highway; 1
 - State Highway
 - Town Highway (Class 1)
 - Town Highway (Class 2,3)
 - Town Highway (Class 4)

1: 3,234
January 8, 2026



164.0 0 82.00 164.0 Meters
 WGS_1984_Web_Mercator_Auxiliary_Sphere 1" = 270 Ft. 1cm = 32 Meters
 © Vermont Agency of Natural Resources THIS MAP IS NOT TO BE USED FOR NAVIGATION

DISCLAIMER: This map is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. ANR and the State of Vermont make no representations of any kind, including but not limited to, the warranties of merchantability, or fitness for a particular use, nor are any such warranties to be implied with respect to the data on this map.

NOTES

Map created using ANR's Natural Resources Atlas



In accordance with 24 V.S.A. §2291(16) and 4426, the Selectboard of the Town of Morrystown, established an ordinance to develop a more uniform street naming & street addressing system throughout the Town of Morrystown that would enable people to locate addresses effectively for providing services and deliveries. Section V-Future Development states: Prior to the issuance of a subdivision permit a developer shall furnish a plan for street naming and street numbering system in accordance with this ordinance to the Selectboard. Final approval of a certificate of occupancy of any principal building erected after July 19, 1996 shall be withheld until permanent and proper numbers have been displayed in accordance with this Ordinance. Private road/street sign shall be the responsibility of the land owner(s). For further information, refer to Ordinance Article 0807-11 on file in the Town Clerk's Office. The Selectboard will allow the option of identifying the road as a private road.

Applicant's Name:

Virginia Mainus

Phone:

716-208-2366

Mailing address:

1152 South Road, Westfield PA 16922

Location of the Road

Off Lawrence Road, approximately 150 ft northwest of Evergreen Lane

Reason for naming road?

New subdivision

Name of Road

Powder Day Lane

What gives you the right to name this road?

Current landowner

Complete this application and submit it to the Zoning Administrator, with a map of your road attached, You will be notified promptly of the decision of the Selectboard.

Applicants Signature

Virginia Mainus

Date

12/11/2025

Approved
 Denied

Reason

For the Selectboard

[Signature]

Date

Dec 15/2025



Private Road Naming

When a private road name is approved by the Morristown Selectboard a road sign must be ordered and installed. The Town will order the private road sign. The cost of the sign and post must be reimbursed to the Town. For an additional cost the Town can install the private road sign. The sign can be installed by residents **with sign location approved by the Town.** State regulations require Town approval of sign placement.

Please check one of the boxes below

- I would like the Town of Morristown to install the sign and post.
- I would like to install the sign and post **with sign location approved by the town.**

Name and number to call when sign is delivered to town:
Shelly Mainus, 716-208-2366



12/12/2025

Selectboard

43 Portland Street

Morrisville, VT 05661

RE: New road name – **'Powder Day Lane'**

Members of the Selectboard,

I am writing this letter to let you know that Virginia Mainus is adding a private road as part of a proposed new subdivision, off of Lawrence Road (Just NW of existing Evergreen Lane).

The Vermont E911 coordinator, Tyler Hermanson, has reviewed and approved a new road name of **POWDER DAY LN** to become part of this subdivision, as it poses no issues of similarity with nearby roads within Morristown or Stowe. He remarked that neither the words 'Powder' or 'Day' are within a road name in Lamoille County.

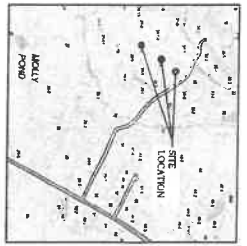
I am forwarding this application and associated documents to the Selectboard for final approval.

Thank you for your consideration,

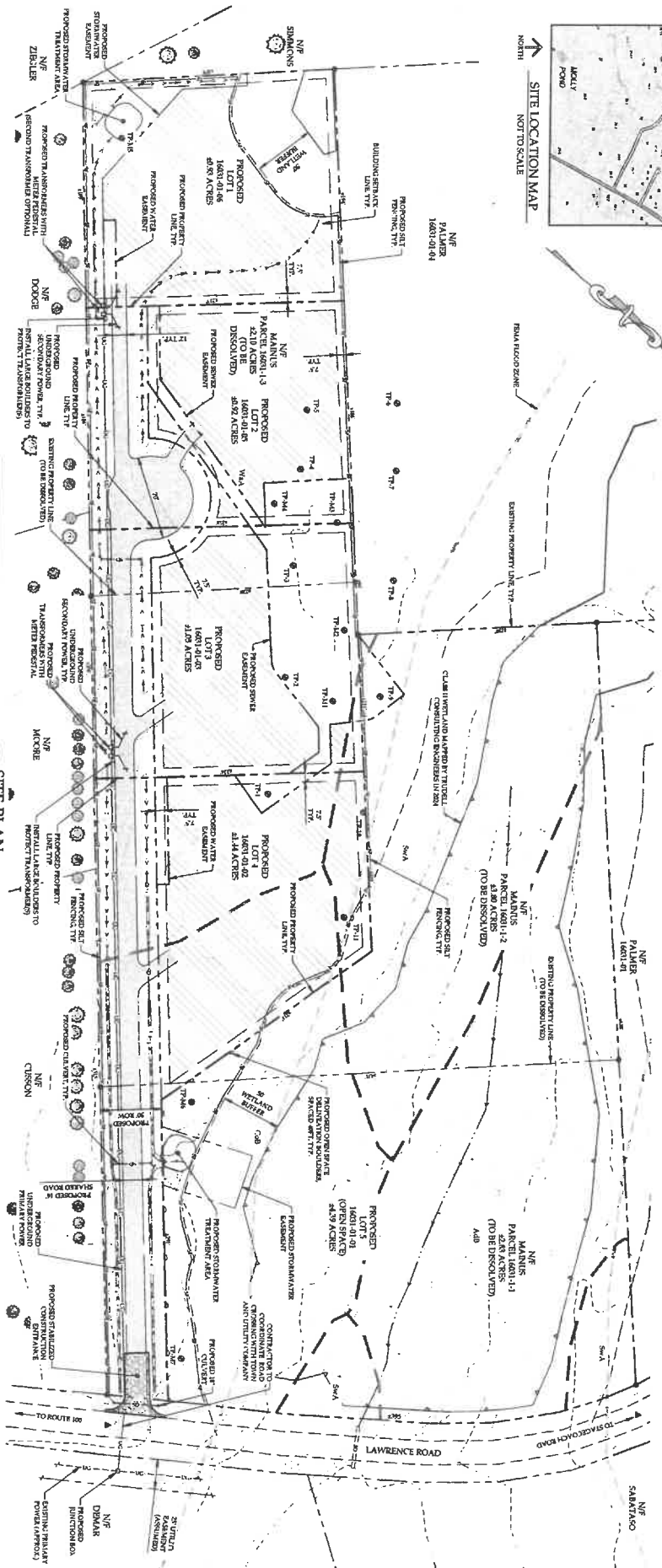
Kevin Petrochko

Assistant Assessor and E911 Coordinator

Town of Morristown



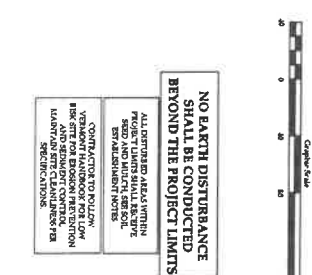
↑ NORTH
 ← NORTH TO SCALE
 SITE LOCATION MAP



- PLANNING NOTES:**
- 1) THESE NOTES ARE INTENDED TO BE USED IN CONJUNCTION WITH THE INFORMATION PROVIDED IN THE VENDOR'S OFFER FOR CONSTRUCTION INFORMATION ON THE PROJECT.
 - 2) THE SITE INFORMATION PROVIDED IS INTENDED TO BE USED IN CONJUNCTION WITH THE VENDOR'S OFFER FOR CONSTRUCTION INFORMATION ON THE PROJECT. THE VENDOR'S OFFER FOR CONSTRUCTION INFORMATION IS THE ONLY SOURCE OF INFORMATION FOR THE PROJECT.
 - 3) THE VENDOR'S OFFER FOR CONSTRUCTION INFORMATION IS THE ONLY SOURCE OF INFORMATION FOR THE PROJECT. THE VENDOR'S OFFER FOR CONSTRUCTION INFORMATION IS THE ONLY SOURCE OF INFORMATION FOR THE PROJECT.
 - 4) THE VENDOR'S OFFER FOR CONSTRUCTION INFORMATION IS THE ONLY SOURCE OF INFORMATION FOR THE PROJECT. THE VENDOR'S OFFER FOR CONSTRUCTION INFORMATION IS THE ONLY SOURCE OF INFORMATION FOR THE PROJECT.
 - 5) THE VENDOR'S OFFER FOR CONSTRUCTION INFORMATION IS THE ONLY SOURCE OF INFORMATION FOR THE PROJECT. THE VENDOR'S OFFER FOR CONSTRUCTION INFORMATION IS THE ONLY SOURCE OF INFORMATION FOR THE PROJECT.

LEGEND

Symbol	Description
Circle with dot	PROPOSED LOT CENTER POINT
Circle with cross	EXISTING LOT CENTER POINT
Circle with dot and cross	ADDITIONAL PROPERTY LINE
Circle with dot and cross	EXISTING PROPERTY LINE
Circle with dot and cross	PROPOSED LOT CENTER POINT
Circle with dot and cross	EXISTING LOT CENTER POINT
Circle with dot and cross	ADDITIONAL PROPERTY LINE
Circle with dot and cross	EXISTING PROPERTY LINE
Circle with dot and cross	PROPOSED LOT CENTER POINT
Circle with dot and cross	EXISTING LOT CENTER POINT
Circle with dot and cross	ADDITIONAL PROPERTY LINE
Circle with dot and cross	EXISTING PROPERTY LINE



MINIMUMS OF PLANT

PROPOSED SLOTTED MANHOLE UNIT DEVELOPMENT:

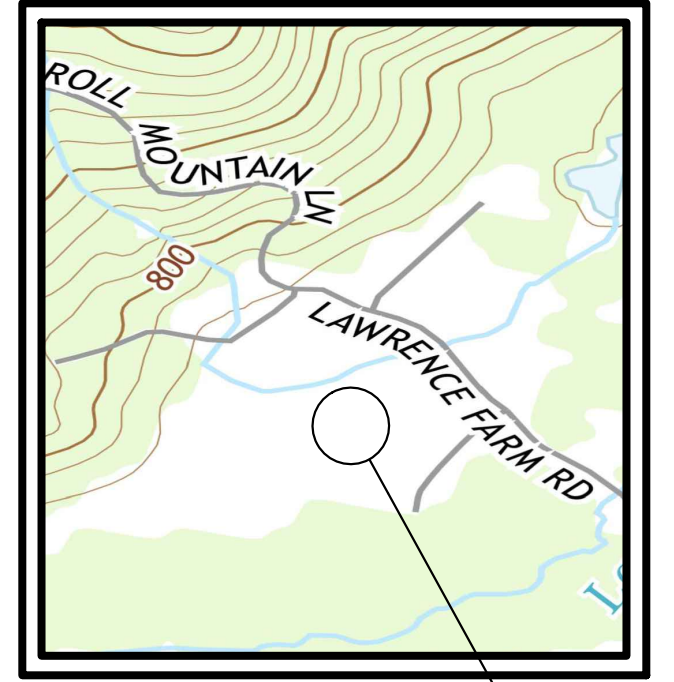
Zone	Minimums
Zone 1	MINIMUM LOT SIZE: 4,000 SF MINIMUM LOT FRONTAGE: 30 FT MINIMUM LOT DEPTH: 45 FT MINIMUM LOT AREA: 1,350 SF
Zone 2	MINIMUM LOT SIZE: 6,000 SF MINIMUM LOT FRONTAGE: 30 FT MINIMUM LOT DEPTH: 50 FT MINIMUM LOT AREA: 1,500 SF
Zone 3	MINIMUM LOT SIZE: 8,000 SF MINIMUM LOT FRONTAGE: 30 FT MINIMUM LOT DEPTH: 55 FT MINIMUM LOT AREA: 1,650 SF

SITE PLAN
 VIRGINIA MANUS
 LAWRENCE ROAD
 MORRISTOWN, VERMONT

MUMLEY ENGINEERING, INC.
 40 HERRING STREET
 MORRISTOWN, VERMONT 05648
 PHONE: 802-888-1111
 FAX: 802-888-1112
 WWW.MUMLEYENGINEERING.COM

PROJECT NO.: 2008-001
 DRAWING NO.: 1-01
 DATE: 11-14-08

C-1
 SHEET NO. 1 OF 2 SHEETS



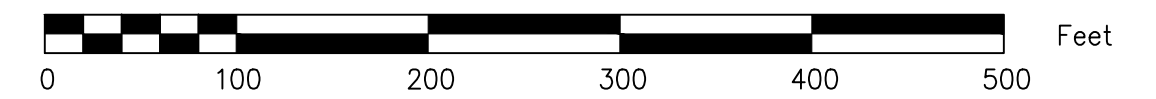
PROJECT LOCATION



NOTES:

1. THIS PLAT IS BASED ON DEEDS AND PLATS RESEARCHED IN THE TOWN OF MORRISTOWN LAND RECORDS AND FEATURES LOCATED IN THE FIELD ON 12/8/2025.
2. COORDINATES AND BEARINGS ARE BASED ON VERMONT STATE PLANE GRID NORTH(US SURVEY FEET) ESTABLISHED WITH RTK OBSERVATIONS FROM VERMONT VRS USING A CARLSON BRx7 GNSS RECEIVER.
3. HORIZONTAL DATUM IS NAD 83(2011) EPOCH 2010.00.
4. VERTICAL DATUM IS NAVD88(GEOID18).
5. THIS PARCEL WAS CONVEYED TO VIRGINIA MAINUS IN VOLUME 346 PAGE 186 ON 9/16/2024. THIS IS THE KEY DEED.
6. REBARS SET ARE NO. 5 REINFORCING BARS WITH ALUMINUM CAPS STAMPED "TCE BOWMAN, VT LS 109298 NH LS 1137".
7. DISTANCES ARE SHOWN TO THE HUNDREDTH OF A FOOT AND BEARINGS ARE SHOWN TO THE SECOND FOR MATHEMATICAL CLOSURE PURPOSES ONLY.
8. AN ATTEMPT HAS BEEN MADE TO IDENTIFY OR DELINEATE EASEMENTS, RIGHTS OF WAY, LEASE LANDS, ENCROACHMENTS, ETC. OBSERVED IN THE FIELD OR READILY FOUND IN THE LAND RECORDS. ADDITIONAL ENCUMBRANCES MAY EXIST WHICH ARE NOT SHOWN ON THIS PLAT.
9. UNDERGROUND UTILITY LINES SHOWN ARE BASED ON ABOVE GROUND STRUCTURES AND PLANS OF RECORD. ACTUAL LOCATION OF UNDERGROUND LINES MAY VARY.
10. THE RIGHT OF WAY WIDTH OF LAWRENCE ROAD IS ASSUMED TO BE THREE RODS (49.5') AS ALLOWED BY STATE STATUTE.

Graphic Scale



MORRISTOWN TOWN CLERK'S OFFICE

RECEIVED FOR RECORD _____ A.D. 202_____
 at _____ O'clock _____ minutes _____ m & Recorded
 in Map Slide _____ of Morristoryn Records
 Attest: _____ Town Clerk

FINAL PLAN APPROVED BY
 MORRISTOWN DEVELOPMENT
 REVIEW BOARD ON

____ DAY OF _____ 202____

____ CHAIR, D.R.B.

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	—————	—————
ADJOINING PROPERTY LINE	—————	—————
EASEMENT	—————	- - - - -
SETBACK	—— SB —— SB ——	
REBAR (FOUND)	●	
REBAR (TO BE SET)	○	
IRON PIPE (FOUND)	○	

Revisions	#	Description	Date	By

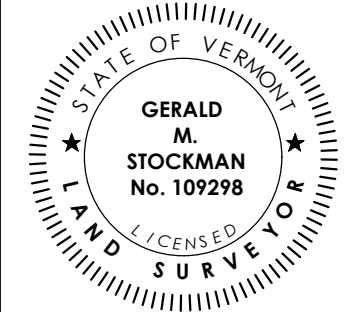
PLAT REFERENCES:

1. "SUBDIVISION PLAT, RICHARD PALMER, LAWRENCE ROAD, MORRISTOWN VT." DATED JANUARY 23, 2006 BY TRUDELL CONSULTING ENGINEERS AND RECORDED IN MAP SLIDE #488 IN THE MORRISTOWN LAND RECORDS.
2. "SUBDIVISION PLAT, MAX & LORRAINE PAINE, LAWRENCE ROAD, MORRISTOWN VT." DATED JULY 5, 2007 BY TRUDELL CONSULTING ENGINEERS AND RECORDED IN MAP SLIDE #313 IN THE MORRISTOWN LAND RECORDS.

This plot was created using pigment based ink on stable media



478 BLAIR PARK ROAD
 WILLISTON, VERMONT 05495
 802 879 6331
 WWW.BOWMAN.COM





January 14, 2026 DRB Meeting Staff Notes

APPLICATION: 2026-01

APPLICANT: Tyler Mumley

REQUESTED ACTION: Major Subdivision Review

LOCATION: 0 Lawrence Farm Road

EXISTING ZONING: Rural Residential Agriculture

PROJECT DESCRIPTION: 2026-01 Major Subdivision Review submitted by Tyler Mumley, applying on behalf of Virginia Mainus, for a proposed 5 lot Planned Unit Development (PUD). The project includes a total of ± 8.73 acres (existing parcels 16031-1-1, 16031-1-2, and 16031-1-3). The properties in question are located at 0 Lawrence Farm Road and are located in the Rural Residential / Agriculture Zoning District (RRA). The project will be reviewed under the 2023 Morristown Zoning and Subdivision Bylaws. As a proposed Conservation Subdivision PUD, there will be a proposed open space lot, lot 5, consisting of 4.39 acres, which is more than 50% of the available land. The remaining land, 4.34 acres, will be subdivided among 4 new lots.

PARCEL HISTORY:

1. Sketch Plan Review, 2025-65, 8/13/25
2. 5 Lot Subdivision, 2006-023 Approved 4/27/2006

LIST OF APPLICANT SUBMISSIONS:

- A. Project Narrative
- B. Application
- C. Abutters list.
- D. Site Plan
- E. Detail Sheet
- F. Mainus Declaration of Covenants
- G. Mainus Open Spaces Easement
- H. MWL Utility Sign Off
- I. Mainus Road Name Submittal
- J. Powder Day Name Submittal
- K. Axis GIS Map
- L. ANR Natural Resources Map
- M. Road Name Approval
- N. Plat



PROCEDURAL INFORMATION:

1. Agenda placed in News and Citizen 12/12/2025
2. Notice placed on the town website and at three locations in town on 12/12/2025
3. Abutters notified on 12/12/2025
4. Notice sent to Applicant 12/12/2025

STAFF COMMENTS (Comments In Bold):

1. Major Subdivision Review submitted by Tyler Mumley, applying on behalf of Virginia Mainus, for a proposed 5 lot Planned Unit Development (PUD). The project includes a total of ±8.73 acres (existing parcels 16031-1-1, 16031-1-2, and 16031-1-3). The properties in question are located at 0 Lawrence Farm Road and are located in the Rural Residential / Agriculture Zoning District (RRA). The project will be reviewed under the 2023 Morristown Zoning and Subdivision Bylaws. As a proposed Conservation Subdivision PUD, there will be a proposed open space lot, lot 5, consisting of 4.39 acres, which is more than 50% of the available land. The remaining land, 4.34 acres, will be subdivided among 4 new lots.
2. The Lots sizes are as follows:
 - a. Lot 1 - .93 acres
 - b. Lot 2 - .92 acres
 - c. Lot 3- 1.05 acres
 - d. Lot 4- 1.44 acres
 - e. Lot 5- 4.39 acres
3. The project is located in the Rural Residential Agriculture Zoning District (RRA).
4. Section 204.5b notes that the minimum lot size for the RRA district is 80,000 square feet or 1.8 acres.
5. Section 710.2 of The Bylaws notes that any subdivision creating more than two lots is considered a major subdivision and are subject to the Planned Unit Development regulations noted in Section 510 of The Bylaws.
6. Section 510.5.b notes that minimum lot size for a PUD is reduced by 50% provided that 50% of the developable property is conserved.
7. The total developable acres for the project is 8.73 acres, 50% of 8.73 acres is 4.36 acres.
8. Lot 5 of the PUD is 4.39 acres and is designated open space on the applicants site plan as noted in Submittal D and is in excess of the 50% conservation requirement noted in Section 510.5.b.
9. Section 510.6.a notes that 50% of the developable acreage needs to be designated as open space.
10. The Applicants site plan (Submittal D) indicates that Lot 5 is dedicated open space and makes up over 50% of the Developable acreage for the project.
11. Section 510.6.b notes that half of the lots need to abut the opens space lot.
12. The Applicants site plan shows that half of the lots, lots 3 and 4, abut the open space lot.



13. Section 510.6.k notes that ownership of the open space has to be dedicated to the town, the towns conservation commission or a homeowner's association (HOA).
14. The Applicants have provided draft HOA covenants (Submittal F) that outline how the open space is to be maintained.
15. Section 510.6.l notes that the town shall be granted a maintenance easement to ensure perpetual maintenance of the open space.
16. The applicants have supplied a draft conservation easement for the town (Submittal G).
17. Section 510.6.m notes the dedicated open space needs to be clearly delineated on the ground with permanent markings.
18. The Applicant narrative (Submittal A) notes that the open space is delineated on the site plan (**While the narrative and site plan note that the open space will be delineated there is no mention as to how this will be implemented on the ground.)**
19. Section 510.6.n notes that walk ways, bike paths and trails shall be provided where feasible to link the lots to the proposed open space.
20. The Applicants note in Submittal A that the proposed roadway links all of the lots to the proposed open space. (**The Board will need to consider whether the applicant should provide additional trails to the open space other than the proposed roadway.)**
21. The Applicants plat will be subject to the Platt requirements noted in Section 770 of The Bylaws.
22. The Projects is in compliance with the following Sections of 770: a-j, l, n-t.
23. The Applicants plat does not list the new parcel ids as noted in a. of Section 770 of The Bylaws. However, the proposed site plan does have them listed. (**At the time I am drafting this report the applicants have indicated that they need to make a few corrections to the plat. They will be providing a revised plat at the meeting. I am anticipating this issue to be resolved before the meeting.)**
24. The Applicants plat does not note the Zoning district the project will be located in as noted in Section 770. m of The Bylaws.
25. The Applicants have not provided a location of a water supply available for firefighting as noted in Section 770.t. (**The applicants have indicated that they will provide a plan for this at the meeting**).
26. This project is subject to the Subdivision General Requirements & Design Standards noted in Article VIII of The Bylaws.
27. Section 800 notes all roads shall be built according to the regulations found in the Morristown Road Policy.
28. Section B.8 of the Morristown Road Policy notes that the Selectboard is required to approve all roads in a Subdivision prior to Final Plat approval.
29. The Applicants have obtained approval of both the road name as noted in Submittal M. and the road itself according to the Selectboard Minutes of 1/5/25.
30. The project is subject to the Subdivision standards noted in Section 810 of the Bylaws.



31. Based on the Applicants submittals, the project complies with Section 810 of The Bylaws. **(The Project is being proposed is suitable for building proposed and is outside of any wetland or wetland setback and does not contain rare or endangered species or deer wintering areas. The site plan notes that the road is laid out in such a way as to minimize the amount of road length needed. It also complies with the town plan as conservation subdivision is encouraged as it results in permanently conserved land and clusters development in a smaller area. Over 50% of the available land is being conserved and it contains the most sensitive area.)**
32. The project is subject to the street regulations noted in Section 820 of the Bylaws.
33. The Applicants submittals demonstrate compliance with the Standards noted in Section 820 of the bylaws as the road was approved by the Selectboard on 1/5/25.
34. The project is subject to the water and wastewater regulations noted in Section 830 of the bylaws.
35. The Applicants have not provided wastewater permits for all the lots. **(Staff recommends that the DRB impose a condition on an approval that wastewater permits are required prior to the issuance of a zoning permit as allowed by Section 830).**
36. The project is not subject to the sidewalk regulations noted in Section 835 as it is located in the RRA zoning district which does not require sidewalks as noted in the Morristown Sidewalk Policy.
37. The project is subject to the Utility regulations noted in Section 840 of the Bylaws.
38. Section 840.1 notes that utility easements are required to be shown **(The Applicants site plan indicates that electrical utilities will be located underground and shows utility easement. Utility boxes are located at the edge of the road right of ways.)**
39. Section 840.2 notes that all subdivisions require provisions for firefighting, stormwater management and electrical power. **(Aside from fire the applicant's materials show plans to deal with the above-mentioned utilities).**
40. Section 840.7 notes that the applicant shall coordinate the design of the electrical utilities with Morrisville Water in Light.
41. The Applicants have coordinated the design of the electrical utilities with Morrisville Water and Light as noted in Submittal H.
42. The Applicants project is subject to the drainage improvements for major subdivision noted in Section 850 of The Bylaws.
43. The Applicants have submitted an erosion and sedimentation control plan noted in Submittal E. Their site plan also shows how storm water will be conveyed on the site per Submittal D.
44. The Applicants project is subject to the site preservation standards noted in Section 860 of The Bylaws.
45. The Applicants site plan, Submittal D, and detail sheet, Submittal E, provide plans for erosion and sediment control as required by Sections 860.1 and 860.2.



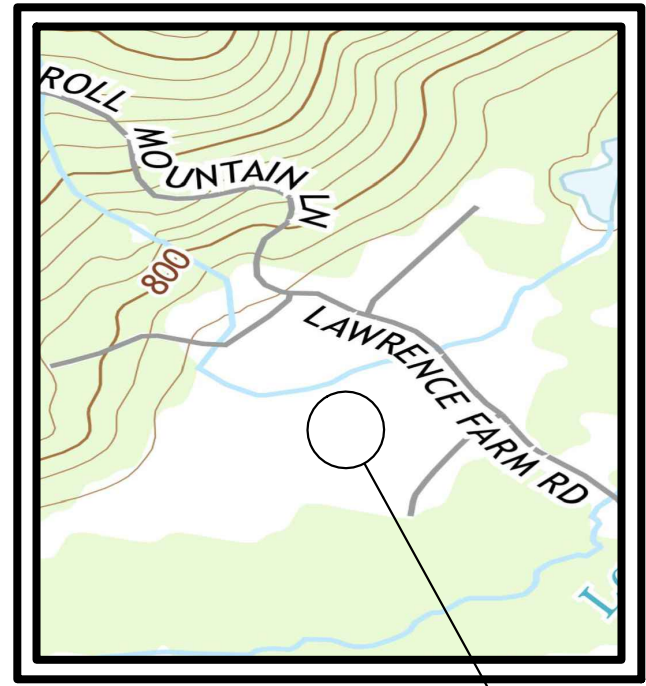
46. The Applicants have not provided additional screening as noted in Section 860.3; however, there are a number of trees on the southern boundary of the project.
47. The applicants are required to provide copies of any community agreements required to maintain shared infrastructure and open space.
48. The Applicants have provided draft copies of these agreements as noted in Submittal F.

ITEMS FOR DRB CONSIDERATION:

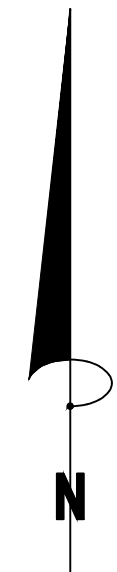
1. Should the applicants provide a plan to delineate the open space on the ground as noted in Section 510.6.m of The Bylaws?
2. Should the applicants be required to provide additional trails linking all the lots to the proposed open space as noted in Section 510.6.n of The Bylaws?
3. Should the Applicants be required to install a dry hydrant on the property as required by Section 840.8 of The Bylaws.

RECOMMENDATIONS TO THE DRB:

1. Approve the application provided the applicants provided confirmation from the Morristown Fire Chief prior to or at the meeting that there are sufficient resources for fire protection on this project with the following additional conditions:
 - a. Wastewater permits shall be required prior to the issuance of any zoning permit.
2. Continue the application until the applicants have provided a plan for adequate fire protection as indicated in a letter of support from the Morrisville Fire Chief.



PROJECT LOCATION



NOTES:

1. THIS PLAT IS BASED ON DEEDS AND PLATS RESEARCHED IN THE TOWN OF MORRISTOWN LAND RECORDS AND FEATURES LOCATED IN THE FIELD ON 12/8/2025.
2. COORDINATES AND BEARINGS ARE BASED ON VERMONT STATE PLANE GRID NORTH(US SURVEY FEET) ESTABLISHED WITH RTK OBSERVATIONS FROM VERMONT VRS USING A CARLSON BRX7 GNSS RECEIVER.
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8. AN ATTEMPT HAS BEEN MADE TO IDENTIFY OR DELINEATE EASEMENTS, RIGHTS OF WAY, LEASE LANDS, ENCROACHMENTS, ETC. OBSERVED IN THE FIELD OR READILY FOUND IN THE LAND RECORDS. ADDITIONAL ENCUMBRANCES MAY EXIST WHICH ARE NOT SHOWN ON THIS PLAT.
9. UNDERGROUND UTILITY LINES SHOWN ARE BASED ON ABOVE GROUND STRUCTURES AND PLANS OF RECORD. ACTUAL LOCATION OF UNDERGROUND LINES MAY VARY.
10. THE RIGHT OF WAY WIDTH OF LAWRENCE ROAD IS ASSUMED TO BE THREE RODS (49.5') AS ALLOWED BY STATE STATUTE.
11. ZONING INFORMATION, PROVIDED BY MUMLEY ENGINEERING, INC.

ZONING DISTRICT: RRA
 MINIMUM LOT SIZE: 80,000 SF
 MINIMUM LOT FRONTAGE: 50 FT
 SETBACKS:
 FRONT = 45 FT
 REAR = 15 FT
 SIDE = 15 FT
 SHORELINE = 50 FT
 PER SECTION 510, DIMENSIONAL REQUIREMENTS OF CONSERVATION SUBDIVISIONS ALLOW FOR REDUCTIONS PROVIDED 50% OPEN SPACE IS PROVIDED AS PART OF THE SUBDIVISION:
 MINIMUM LOT SIZE: 40,000 SF
 MINIMUM LOT FRONTAGE: 50 FT
 SETBACKS:
 FRONT = 22.5 FT
 REAR = 7.5 FT
 SIDE = 7.5 FT
 SHORELINE = 25 FT

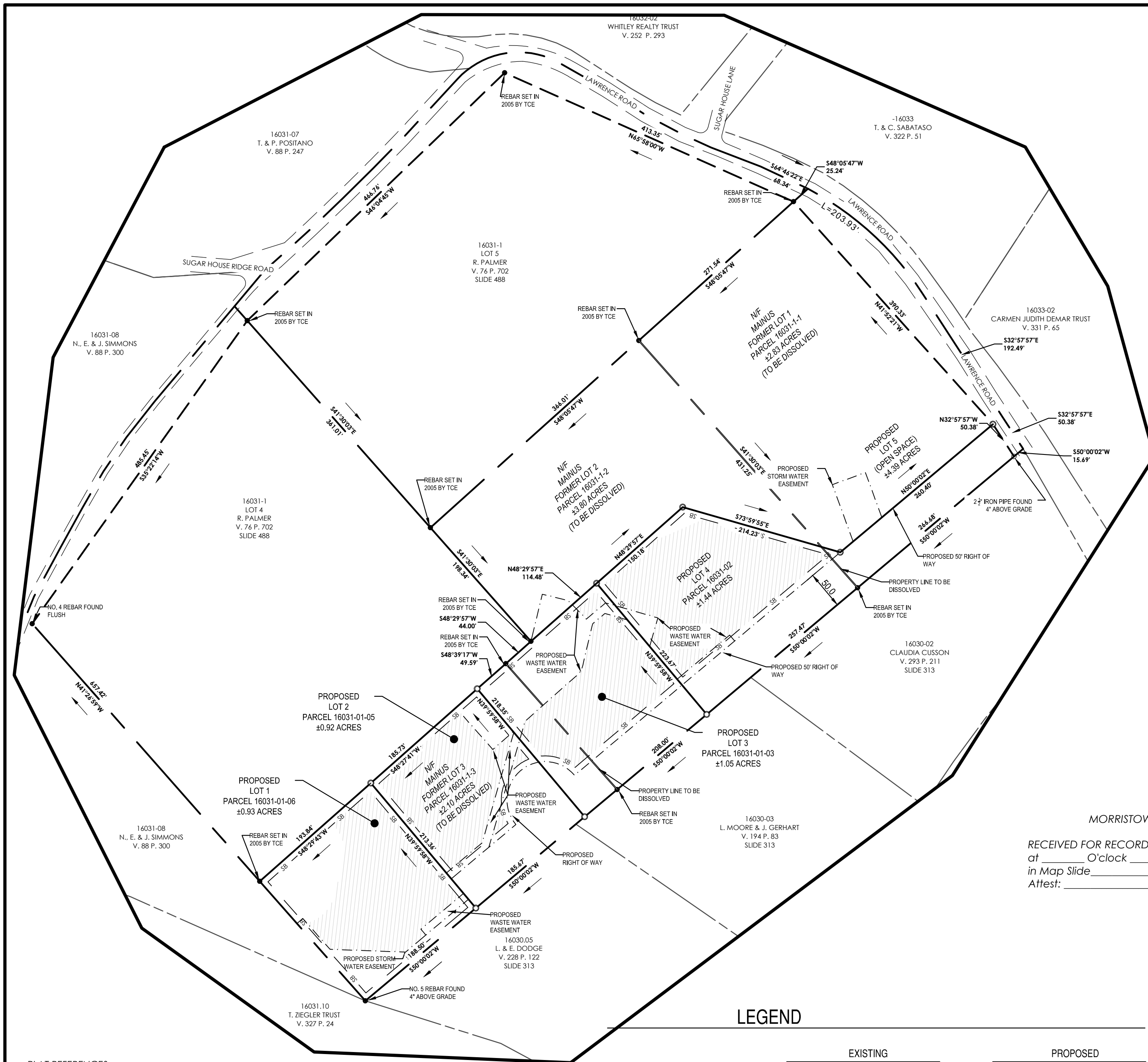
MORRISTOWN TOWN CLERK'S OFFICE

RECEIVED FOR RECORD _____ A.D. 202_____
 at _____ O'clock _____ minutes _____ m & Recorded
 in Map Slide _____ of Morrystown Records
 Attest: _____ Town Clerk

FINAL PLAN APPROVED BY
 MORRISTOWN DEVELOPMENT
 REVIEW BOARD ON

____ DAY OF _____ 202____

CHAIR, D.R.B.

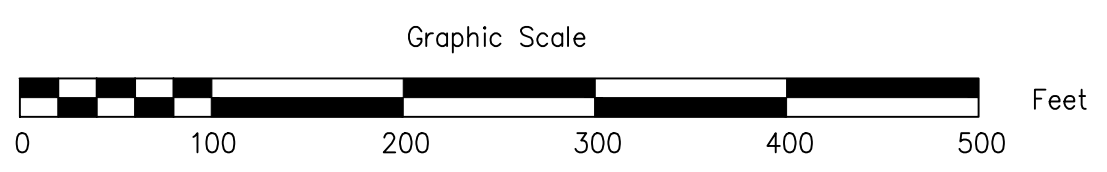


LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	—————	—————
ADJOINING PROPERTY LINE	—————	—————
EASEMENT	—————	—————
SETBACK	—————	SB ——— SB
REBAR (FOUND)	●	○
REBAR (TO BE SET)	○	○
IRON PIPE (FOUND)	○	○
BUILDING ENVELOPE	—————	—————

PLAT REFERENCES:

1. "SUBDIVISION PLAT, RICHARD PALMER, LAWRENCE ROAD, MORRISTOWN VT." DATED JANUARY 23, 2006 BY TRUDELL CONSULTING ENGINEERS AND RECORDED IN MAP SLIDE #488 IN THE MORRISTOWN LAND RECORDS.
2. "SUBDIVISION PLAT, MAX & LORRAINE PAINE, LAWRENCE ROAD, MORRISTOWN VT." DATED JULY 5, 2007 BY TRUDELL CONSULTING ENGINEERS AND RECORDED IN MAP SLIDE #313 IN THE MORRISTOWN LAND RECORDS.



Revisions	#	Description	Date	By

SUBDIVISION

PREPARED FOR VIRGINIA MAINUS

16031-01
 LAWRENCE ROAD
 MORRISTOWN, VERMONT

Date: 12/12/2025	Drawn By: GMS	Project #: 24-194
Scale: 1"=100'	Surveyed By: GMS	Field Bk: RW5

V1-1

THIS PLAT IS BASED ON A FIELD SURVEY WHICH MEETS OR EXCEEDS THE MINIMUM STANDARDS AS SET FORTH BY THE VERMONT BOARD OF LAND SURVEYORS. FIELD EVIDENCE, PERTINENT RECORD INFORMATION, AND PAROLE EVIDENCE WAS USED IN THE CALCULATION AND DETERMINATION OF THE BOUNDARIES SHOWN ON THIS PLAT. ANY INCONSISTENCIES ARE SHOWN HEREON TO THE BEST OF MY KNOWLEDGE. THIS PLAT MEETS THE REQUIREMENTS OF 27 VSA 1403.

GERALD M. STOCKMAN, L.S. #109298

478 BLAIR PARK ROAD
 WILLISTON, VERMONT 05495
 802 879 6331
 WWW.BOWMAN.COM

Bowman

This plot was created using pigment based ink on stable media

Reice Branon

From: Dennis DiGregorio <captdenny14k4@comcast.net>
Sent: Thursday, January 8, 2026 1:40 PM
To: Reice Branon
Subject: RE: 25030 - Mainus, 5-Lot Subdivision - Fire Protection

Follow Up Flag: Follow up
Flag Status: Flagged

As we talked on the phone the dry hydrant at the corner of Stagecoach Rd. and Carroll Mountain Rd. will work for that project. Thank You.

On 12/31/2025 11:15 AM EST Reice Branon <reice@mumleyinc.com> wrote:

Good morning Denny,

Following up on this project. Have you been able to take a look at the attached? I called and left you a message on Dec 17th as well regarding this project. We are going before the DRB on January 15th and would like to have answer for the board by then if possible.

I'm more than happy to have a phone call or meeting to discuss. We will be out of the office until Monday next week, but should be available all week next week.

Have a happy new year!

Thank you!

Reice Branon

Reice Branon, P.E.

Project Manager

Mumley Engineering, Inc.

46 Hutchins Street

Morrisville, VT 05661

802-851-8882

www.mumleyengineering.com



From: Reice Branon
Sent: Friday, December 5, 2025 11:31 AM
To: captdenny14k4@comcast.net
Cc: Tyler Mumley <tyler@mumleyinc.com>
Subject: 25030 - Mainus, 5-Lot Subdivision - Fire Protection

Good morning Denny,

I hope you've stayed warm this morning. Not often do we get February temps in December!

Please see attached concept subdivision located on Lawrence Road. The ZA has required us to reach out to you to discuss fire protection for this subdivision before we can go before the board for approval. Is there sufficient fire protection in the vicinity of this proposed subdivision?

I am happy to have a phone conversation, set up a meeting, or meet on-site to chat and review together if you wish. Please let me know if you have any questions or concerns,

Thank you!

Reice Branon

Reice Branon, P.E.

Project Manager

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